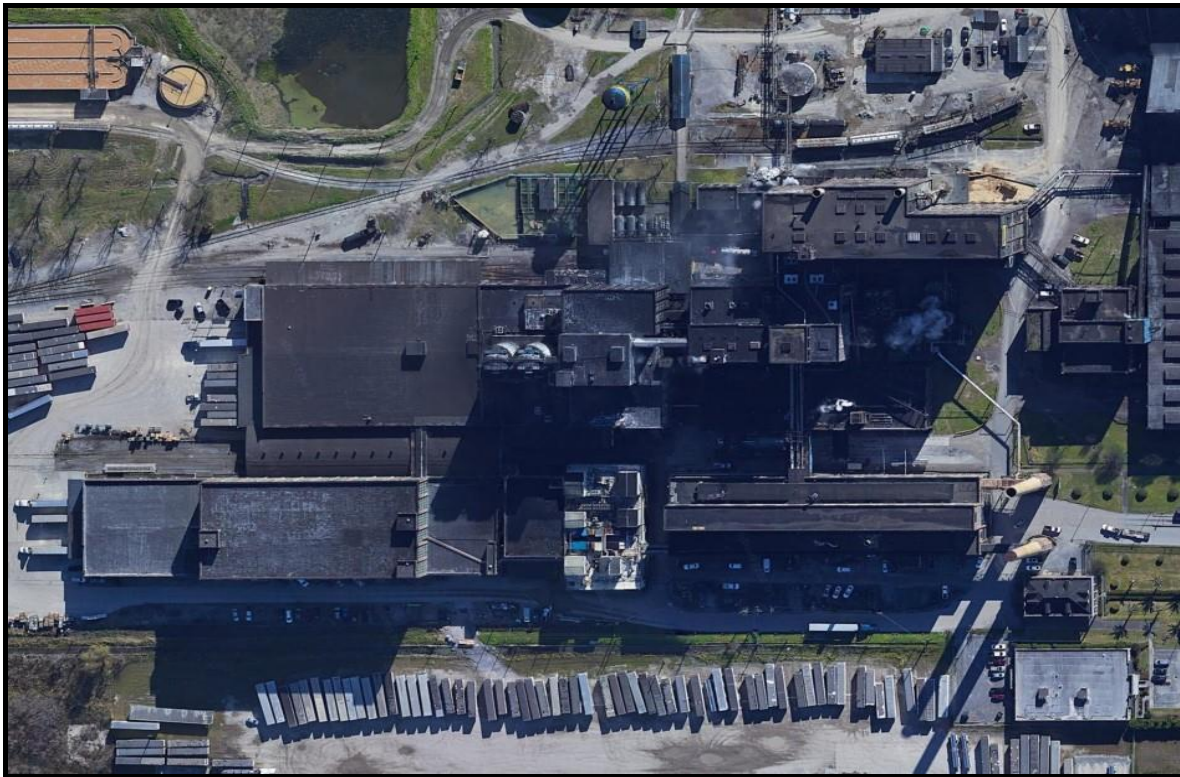


## **Domino Sugar Refinery**

7412 N. Peters Street  
Chalmette, LA 70032

---

# **Domino Sugar Facility**



**7412 N. Peters Street  
Arabi, LA**

**9/3/2022**

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**7412 N. Peters Street**

**Arabi, LA**

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Roof System Data

Detailed Deficiency Listing

Photograph Descriptions

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# INTRODUCTION TO REPORT FORMAT

The following condition codes are intended to provide a summary of the overall condition of each roof system.

**Below is a listing of the condition codes used and their associated meaning:**

<b>ROOF CONDITION CODE</b>	<b>DESCRIPTION</b>
<b>Failed</b> 0-1 Years Remaining Service Life	Removal and replacement of the roof system within the next 12 months is recommended due to the severity of deterioration.
<b>Poor</b> 2-4 Years Remaining Service Life	The roof assembly has surpassed or is nearing the end of its useful service life. Replacement will be required in the near future but can be temporarily postponed with strategic repairs until the frequency of leaks becomes unacceptable to internal operations or on-going repair costs become prohibitive.
<b>Fair</b> 5-7 Years Remaining Service Life	The roof system is serviceable yet requiring repairs and routine maintenance to maintain. Repairs should be implemented in a timely manner to prevent further development.
<b>Good</b> 8 Plus Years Remaining Service Life	Only minor repairs required or early in service life with no repairs required. Repairs should be implemented in a timely manner to prevent further development.

On the Detailed Deficiency Listing page of the report is a Deficiency Priority. It is located on the left hand margin of the page. Each deficiency is given a priority for completing the needed correction, depending on the urgency of the problem. The keys to the priority codes are as follows:

"E" Emergency - Correct immediately - Life Safety or Possibility of Personal Injury is a Major Concern

"C" Critical - Urgent need for immediate repair to avoid imminent failure with risk to life safety or risk of major disruption to operations

"S" Significant - Lack of immediate attention may lead to much higher repair cost or premature failure of roof system within 12 months

"M" Minor - Not an immediate concern, but should be scheduled for repair

"MN" Monitor - Defect should be addressed at time of roof system replacement or re-inspected annually for further deterioration that would support reclassification to a higher risk category

"N/A" – Not Applicable - No Corrective Action Required

# INTRODUCTION TO REPORT FORMAT

(Cont'd)

In the event a corrective action is considered routine maintenance for completion sometime with in the next 1-5 years, the following Deficiency Priority Codes will be used.

1 - First Year	Complete within first year
2 - Second Funding Year	Complete during funding year 2
3 - Third Funding Year	Complete during funding year 3
4 - Fourth Funding Year	Complete during funding year 4
5 - Fifth Funding Year	Complete during funding year 5

This information, along with the Summary information, should allow for prioritizing the needs of each roof area and development of a maintenance and capital improvement budget.

Several items have been taken into consideration in establishing anticipated service life and budget estimates.

Service life estimates are based on data obtained through our field survey, historical experience and practical considerations of required repairs and the assumption that routine maintenance procedures, including annual inspections will be followed.

● TRUCK LOADING - AREA A  
969 SQ. FT. +/-  
MODIFIED BUR

● TRUCK LOADING - AREA B  
739 SQ. FT. +/-  
MODIFIED BUR

● TRUCK LOADING - AREA C  
481 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA B  
314 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA BI  
559 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA C  
1,446 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA A  
9,836 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA I  
5,715 SQ. FT. +/-  
MODIFIED BUR

● METAL PANELS

● BUILDING B - ROOF AREA D  
949 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA DI  
484 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA E2  
478 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA F  
1,268 SQ. FT. +/-  
MODIFIED BUR


● BUILDING B - ROOF AREA E  
839 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA H  
8,205 SQ. FT. +/-  
SPRAYED FOAM

● BUILDING B - ROOF AREA G  
5,274 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA J  
208 SQ. FT. +/-  
MODIFIED BUR

● BUILDING B - ROOF AREA EI  
110 SQ. FT. +/-  
MODIFIED BUR

<b>FAILED</b>	<b>POOR</b>	<b>FAIR</b>	<b>GOOD</b>	
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE	

**PROJECT KEY PLAN**  
NOT TO SCALE

5800-916 (100)

**rcs** ROOF CONSULTING SERVICES, INC  
P.O. BOX 9747  
RICHMOND, VIRGINIA 23228

\* SURVEYS \* SPECIFICATIONS \* INSPECTIONS \*

Date: 04/03/2022  
Project: DOMINO SUGAR FACILITY  
Address: 1412 N. PETERS STREET  
ARABI, LA



# Roof System Condition Evaluation Report

## Project Information

**Facility Name:** Domino Sugar Facility  
 7412 N. Peters Street  
 Arabi, LA

**Contact:** Daniel Nguyen  
**Phone:** (504) 278-5171 **Cell:** (561) 809-2108  
**Email:** daniel.nguyen@asr-group.com

**Total Roof Area Sq. Ft. (+/-):** 38,168

**Exterior Wall Type:** Masonry

**Year Building Built:** N/D

**Exterior Wall Condition:** Fair

**Building Use:** Manufacturing

**Exterior Moisture Staining:** Minor Observed



## Roof Areas Summary

Roof Area Identification	Size (sq/ft)	Roof Type	Year Installed	Remaining Life (Yrs)	Roof Condition Code	Replace Year	Replacement Cost Estimate	Repair Cost Estimate
Bldg 8 - Area A	9,836	Modified BUR	2020 +/-	0-1 +/-	Failed	2023	\$442,500.00	\$2,550.00
Bldg 8 - Area B & E1	424	Modified BUR	2020	5-7 +/-	Fair	2028	\$19,500.00	\$95.00
Bldg 8 - Area B1	559	Modified BUR	2020	2-4 +/-	Poor	2025	\$25,500.00	\$2,100.00
Bldg 8 - Area C, F, G & J	8,196	Modified BUR	2020	2-4 +/-	Poor	2025	\$369,000.00	\$31,365.00
Bldg 8 - Area D, E, D1 & E2	2,750	Modified BUR	2020	2-4 +/-	Poor	2025	\$123,750.00	\$43,425.00
Bldg 8 - Area H	8,205	Sprayed Foam	N/D	0-1 +/-	Failed	2023	\$425,000.00	N/A
Bldg 8 - Area I	5,715	Modified BUR	2020	5-7 +/-	Fair	2028	\$257,250.00	\$4,500.00
Truck Loading - Area A, B & C	2,189	Modified BUR	2022	17-19 +/-	Good	2040	\$98,500.00	\$925.00
Metal Panels	294	Metal Panels	Unknown	2-4 +/-	Poor	2025	\$17,500.00	N/A
<b>Totals</b>	<b>38,168</b> Sq Ft						<b>\$1,778,500.00</b>	<b>\$84,960.00</b>

## Project Comments:

On Saturday, September 3, 2022, a comprehensive visual roof inspection and non-destructive infrared roof moisture survey was completed on Domino Sugar Facility located at 7412 N. Peters Street, Arabi, LA. The purpose of this inspection was to identify the extent, if any, of moisture intrusion into the existing roof assemblies, document observed roof system deficiencies, determine the overall condition of the existing roof systems and to estimate the remaining service life of the in-place roof assemblies.

# Roof System Condition Evaluation Report

The buildings / roof areas inspected have been designated as Bldg 8 - Areas A-J, Truck Loading - Areas A-C, and Metal Panels. Roof areas on the same building with similar roof system compositions and remaining service life expectancies have been grouped together for reporting purposes.

The installed roofing consists of the following roof system types that are in the overall condition as listed below:

- Bldg 8 - Area A - Modified BUR - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$2,550.00
- Bldg 8 - Area B & E1 - Modified BUR - Fair - 5-7 +/- years of remaining service life - Repair Cost: \$95.00
- Bldg 8 - Area B1 - Modified BUR - Poor - 2-4 +/- years of remaining service life - Repair Cost: \$2,100.00
- Bldg 8 - Area C, F, G & J - Modified BUR - Poor - 2-4 +/- years of remaining service life - Repair Cost: \$31,365.00
- Bldg 8 - Area D, E, D1 & E2 - Modified BUR - Poor - 2-4 +/- years of remaining service life - Repair Cost: \$43,425.00
- Bldg 8 - Area H - Sprayed Foam - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A
- Bldg 8 - Area I - Modified BUR - Fair - 5-7 +/- years of remaining service life - Repair Cost: \$4,500.00
- Truck Loading - Area A, B & C - Modified BUR - Good - 17-19 +/- years of remaining service life - Repair Cost: \$925.00
- Metal Panels - Metal Panels - Poor - 2-4 +/- years of remaining service life - Repair Cost: N/A

For repairs on all roof areas, we have estimated a total repair cost of \$84,960.00. This repair cost estimate is based on all recommended repairs being completed under a single work order. In the event only selective items are repaired, then the estimated cost is subject to an increase in overall repair cost.

Please reference the Roof Area Information, Detailed Deficiency Listing, Photograph Documentation and Roof Plan drawing sections of this report for the detailed information pertaining to our findings and recommendations for corrective action.



# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area A**

### **Roof System Data**

<b>Area Name:</b> Bldg 8 - Area A	<b>Year Installed:</b> 2020 +/-	<b>Active Leaks:</b> None Reported
<b>Size Sq. Ft. (+/-):</b> 9,836	<b>Remaining Service Life (Years):</b> 0-1 +/-	<b>Leak History:</b> Minor
<b>Roof Elevation:</b> 30' +/-	<b>Average Roof System R Value:</b> 25.18	<b>Leak Sensitivity:</b> Normal

#### **Roofing Contractor:**

**Company:** Unknown  
**Contact:** Unknown  
**Phone:** Unknown

#### **Guarantee Info:**

**Guarantee (Y/N):** Unknown  
**Manufacturer:** Siplast  
**Guarantee Term:** Unknown  
**Guarantee Number:** Unknown  
**Expiration Date:** Unknown

#### **Roof System:**

**Roof System Type:** Modified BUR  
**Roof Membrane Type:** Granular Surfaced Modified Bitumen  
**Membrane Condition:** Failed  
**Roof Surfacing Type:** Granules  
**Recovery System:** No

#### **Roof Deck and Support Structure:**

**Deck Type:** Pre-cast Concrete Tee  
**Deck Thickness:** N/D  
**Roof Truss Type:** Steel Bar Joist  
**Truss Height:** 12"  
**Truss Span:** Varies  
**Truss Spacing:** 5' o.c.

#### **Vapor Retarder:**

**Vapor Retarder:** No  
**Type:** N/A  
**Location:** N/A  
**Attachment:** N/A  
**Condition:** N/A  
**Relative Humidity:** N/A

#### **Maintenance Items:**

**Mechanical Damage:** None Observed  
**Chemical Exposure:** None Observed  
**Roof Traffic:** Yes - Service  
**Debris:** Yes - Roof Surface

#### **Base Flashings:**

**Flashing Type:** Modified  
**Height:** 3" - 18" +/-  
**Coated:** No  
**Cant Strip Type:** N/D  
**Condition:** Poor  
**Securement:** Asphalt & Mechanical

#### **Counter Flashing:**

**Reglet Joint:**  **Surface Mount:**   
**Thru Wall:**  **Term Bar:**   
**CF Metal Type:** Aluminum

#### **Perimeter Types:**

**Gravel Stop Type:** N/A  
**Gravel Stop Condition:** N/A  
**Parapet Wall Type:** Metal / Masonry  
**Parapet Wall Condition:** Fair  
**Wall Coping Type:** Metal  
**Wall Coping Condition:** Good  
**Wall Coping Size:** 23" - 24"  
**Metal Coping Material Type:** Pre-Finished Steel  
**Metal Coping Quantity:** 396 LF  
**Expansion Joint Type:** N/A  
**Expansion Joint Condition:** N/A

#### **Penetrations:**

#### **Quantity:**

<b>Soil Stacks:</b> <input type="checkbox"/>	0
<b>Exhaust Units:</b> <input type="checkbox"/>	0
<b>Standard Curbs:</b> <input checked="" type="checkbox"/>	6
<b>Pipe Supports:</b> <input checked="" type="checkbox"/>	19
<b>Pitch Pans:</b> <input checked="" type="checkbox"/>	11
<b>Roof Hatch:</b> <input type="checkbox"/>	0
<b>Hot Stacks:</b> <input type="checkbox"/>	0
<b>Skylights:</b> <input type="checkbox"/>	0
<b>Smoke Hatch:</b> <input type="checkbox"/>	0
<b>Other:</b> <input checked="" type="checkbox"/>	11

#### **Drainage:**

**Drainage:** Fair  
**Slope:** 1/4" - 1' +/-  
**Ponding Water:** No  
**Drainage Comments:** No ponding water observed during this inspection

#### **Item:**

#### **Size:**

#### **Material Type:**

#### **Quantity:**

#### **Condition:**

<b>Roof Drains:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Scuppers:</b> <input checked="" type="checkbox"/>	10" x 12"	Aluminum	6	Good
<b>Gutters:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Downspouts:</b> <input type="checkbox"/>	N/A	N/A	0	N/A

# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area A**

### **Asbestos Material Testing:**

#### **Performed:**

**Membrane:** No

**Flashing:** No

**Repairs:** No

**Other:** No

#### **Results:**

**Membrane:** N/A

**Flashing:** N/A

**Repairs:** N/A

**Other:** N/A

#### **Required:**

**Membrane:** Yes

**Flashing:** Yes

**Repairs:** Yes

**Other:** Yes

### **Roof Moisture Survey:**

**Moisture Survey Completed:** Yes

**Results:** Positive

**Number of Anomalies:** 5

**% of Wet Roof Area:** 1.54%

**Total Sq. Ft. of Wet Roof Area:** 151 Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Pre-cast Concrete Tee	N/D	Spot Welded	Fair
2	Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Fair
3	Polyisocyanurate Insulation	2.2 Inch	Adhered	Fair
4	Polyisocyanurate Insulation	2.2 Inch	Adhered	Good
5	DensDeck	1/2 Inch	Mechanical	Good
6	Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor
7	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor

**Roof Condition Code:** Failed

**Recommendation:** Replacement

**Replacement Year:** 2023

**Replacement Cost (+/-):** \$442,500.00

**Deficiencies Repair Cost:** \$2,550.00

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Bldg 8 - Area A:

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a pre-cast concrete tee roof deck. Drainage is facilitated by 6 wall scuppers. The current roof assembly was reportedly installed in 2020 & manufactured by Siplast. RCS contact reported that to their knowledge, there is no active manufacturer warranty for the installed roof system.

An infrared moisture survey was performed and the results of the survey were positive. Five (5) wet areas

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area A**

totaling 151 sq. ft. were identified and marked on the roof surface. Please reference the roof plan drawing for location of identified wet areas. No active interior roof leak locations were identified by RCS project contact.

The overall condition of this roof area is considered failed. Six (6) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered Failed, corrections to the noted deficiencies has been limited to open conditions that are directly related to active leak areas or conditions that we feel could develop into leak areas within the next 12 months. It should also be anticipated that additional repairs may be required to stop additional leak conditions that may develop prior to the roof system replacement being completed. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months; however, if the recommended repairs and continued maintenance is successful in controlling interior leaks, the roof system replacement could potentially be deferred for 2-3 years.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new double layer of polyisocyanurate insulation that provides an R-Value to meet current energy code requirements and a two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

# Detailed Deficiency Listing For:

## Domino Sugar Facility

7412 N. Peters Street - Arabi, LA

### Roof Area - Bldg 8 - Area A

#### Deficiency Priority Codes:

##### Current Year Priorities

E - Emergency  
C - Critical  
S - Significant  
M - Minor  
MN - Monitor

##### Future Year Maintenance

1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

##### N/A - Not Applicable

No Correction Action  
Required

Inspection Date: 9/3/2022

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Penetrations through roof surface have not been flashed	2		
		Due to the minimal remaining service life of the roof system, address at time of roof system replacement or as required to maintain watertight integrity	Locations		
2	M	Debris on roof surface	3	\$25.00	\$75.00
		Address at time of roof replacement	Locations		
3	M	Open flashing	2	\$225.00	\$450.00
		Repair with a three (3) course application of flashing grade roof cement and reinforcing fabric	Locations		
4	M	Hole / puncture in membrane / felts	1	\$275.00	\$275.00
		Repair with a five (5) course application of flashing grade roof cement and reinforcing fabric	Location		
5	MN	Vegetative growth on roof surface	1		
		Address at time of roof replacement	Locations		
22	M	Wet insulation / moisture entrapment	5	\$350.00	\$1,750.00
		Inspect wet areas for pinholes or other damage to roof membrane not already documented and implement repairs as needed to prevent additional moisture entrapment	Locations		
		At time of roof system replacement, if the entire roof is not being torn off, all wet areas would require removal and replacement with new dry materials			

**Detailed Deficiency Listing For:**

**Domino Sugar Facility**

**7412 N. Peters Street - Arabi, LA**

**Roof Area - Bldg 8 - Area A**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
C -Critical  
S - Significant  
M - Minor  
MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
Required

**Inspection Date: 9/3/2022**

**Inspectors: Efren Villeda**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		

**Grand Total** **\$2,550.00**

**Priority Code Totals:**

**Minor** **\$2,550.00**

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility  
Roof Area - Bldg 8 - Area A**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	<b>1</b>	<b>2</b>	<b>3</b>
<b><i>Test Cut Size</i></b>	6" x 6"	Probe	6" x 6"
<b><i>Troxler Reading</i></b>	N/A	N/A	N/A
<b><i>Infra-red Reading</i></b>	Negative	Positive	Negative
<b><i>Delmhorst Reading</i></b>	Dry	Wet	Dry
<b><i>Deck Condition</i></b>	Good	N/D	Good
<b><i>Vapor Retarder Condition</i></b>	N/A	N/A	N/A
<b><i>Insulation Condition</i></b>	Good	Poor - Wet	Good
<b><i>Membrane Condition</i></b>	Poor	Poor	Poor

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

1. Building exterior elevation overview



2. Building exterior elevation overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area A**

**3. Building exterior elevation  
overview**



**4. Building exterior elevation  
overview**



**9/3/2022**



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

5. Building exterior elevation overview



6. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area A**

**7. Bldg 8 - Area A roof system  
overview**



**8. Bldg 8 - Area A roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area A**

**9. Bldg 8 - Area A roof system  
overview**



**10. Bldg 8 - Area A roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

11. Bldg 8 - Area A roof system overview



12. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

13. Bldg 8 - Area A roof system overview



14. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

15. Bldg 8 - Area A roof system overview



16. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

17. Bldg 8 - Area A roof system overview



18. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area A**

**19. Bldg 8 - Area A roof system overview**



**20. Bldg 8 - Area A roof system overview**



**9/3/2022**



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

21. Bldg 8 - Area A roof system overview



22. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

23. Bldg 8 - Area A roof system overview



24. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

25. Bldg 8 - Area A roof system overview



26. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

27. Bldg 8 - Area A roof system overview



28. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

29. Bldg 8 - Area A roof system overview



30. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

31. Bldg 8 - Area A roof system overview



32. Bldg 8 - Area A roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

33. Bldg 8 - Area A roof system overview



34. Deficiency #1 - Penetrations through roof surface have not been flashed



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

35. Deficiency #1 - Penetrations through roof surface have not been flashed



36. Deficiency #2 - Debris on roof surface



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

37. Deficiency #2 - Debris on roof surface



38. Deficiency #3 - Open flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

39. Deficiency #3 - Open flashing



40. Deficiency #4 - Hole / puncture  
in membrane / felts



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

41. Deficiency #4 - Hole / puncture  
in membrane / felts



42. Deficiency #5 - Vegetative  
growth on roof surface



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

43. Deficiency #5 - Vegetative growth on roof surface



44. Deficiency #22 - Wet insulation / moisture entrapment



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

45. Deficiency #22 - Wet insulation /  
moisture entrapment



46. Test Cut #1 (Area A): View of  
modified bitumen plies



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

47. Test Cut #1 (Area A): Delmhorst moisture meter reading negative for moisture within the DensDeck sheathing layer



48. Test Cut #1 (Area A): DensDeck measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

49. Test Cut #1 (Area A): View of roof insulation measurement



50. Test Cut #1 (Area A): View of roof insulation measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

51. Test Cut #1 (Area A): View of smooth modified vapor retarder installed to structural decking



52. Test Cut #1 (Area A):  
Composition removed exposing a  
pre-cast concrete tee roof deck



9/3/2022

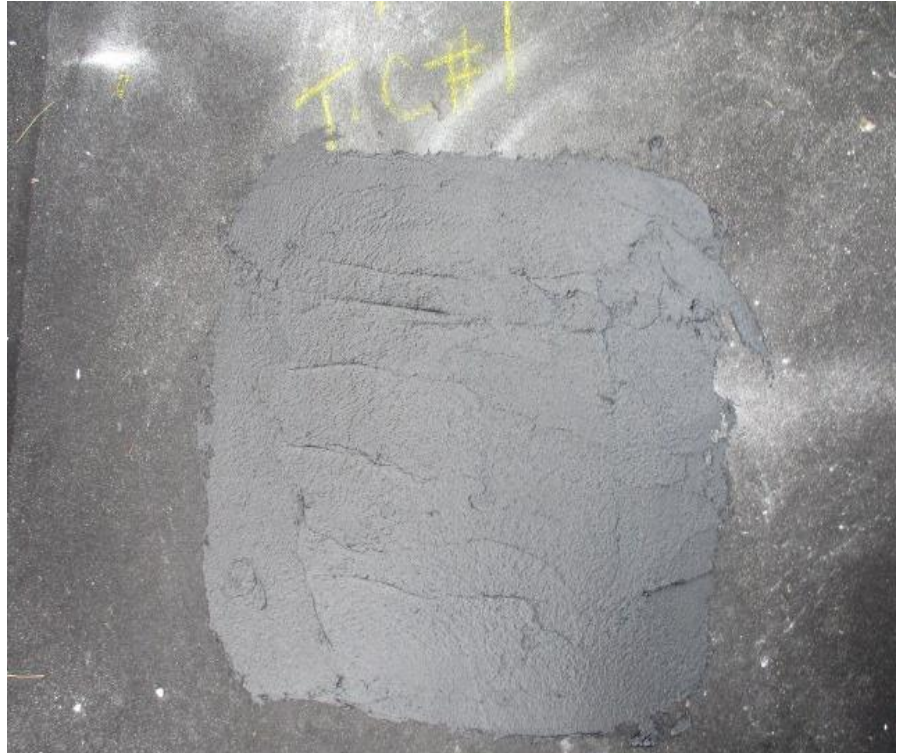


# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

53. Test Cut #1 (Area A): View of  
RCS repair



54. Probe #2 (Area A): View of  
modified bitumen plies



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

55. Probe #2 (Area A): Delmhorst moisture meter reading positive for moisture within the DensDeck sheathing layer.

Visible deterioration of DensDeck sheathing observed



56. Probe #2 (Area A): View of RCS repair



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

57. Test Cut #3 (Area A): View of modified bitumen plies



58. Test Cut #3 (Area A): View of roof composition removed exposing a pre-cast concrete tee roof deck



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

59. Test Cut #3 (Area A): View of  
RCS repair



60. Infrared image on Bldg 8 - Area  
A with suspect wet areas observed



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area A**

**61. Infrared image on Bldg 8 - Area A with no suspect wet areas observed**

**Note: thermal anomaly observed in photo is due to change in structural deck type / roof system composition**



**62. Infrared image on Bldg 8 - Area A with no suspect wet areas observed**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area A

63. Infrared image on Bldg 8 - Area A with suspect wet areas observed



9/3/2022

# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area B & E1**

### **Roof System Data**

<b>Area Name:</b> Bldg 8 - Area B & E1	<b>Year Installed:</b> 2020	<b>Active Leaks:</b> None Reported
<b>Size Sq. Ft. (+/-):</b> 424	<b>Remaining Service Life (Years):</b> 5-7 +/-	<b>Leak History:</b> Minor
<b>Roof Elevation:</b> 50' +/-	<b>Average Roof System R Value:</b> 9.38	<b>Leak Sensitivity:</b> Normal

<b>Roofing Contractor:</b>	<b>Guarantee Info:</b>	<b>Roof System:</b>
<b>Company:</b> Unknown	<b>Guarantee (Y/N):</b> Unknown	<b>Roof System Type:</b> Modified BUR
<b>Contact:</b> Unknown	<b>Manufacturer:</b> Siplast	<b>Roof Membrane Type:</b> Granular Surfaced Modified Bitumen
<b>Phone:</b> Unknown	<b>Guarantee Term:</b> Unknown	<b>Membrane Condition:</b> Fair
	<b>Guarantee Number:</b> Unknown	<b>Roof Surfacing Type:</b> Granules
	<b>Expiration Date:</b> Unknown	<b>Recovery System:</b> No

<b>Roof Deck and Support Structure:</b>	<b>Vapor Retarder:</b>	<b>Maintenance Items:</b>
<b>Deck Type:</b> Galvanized Metal	<b>Vapor Retarder:</b> No	<b>Mechanical Damage:</b> None Observed
<b>Deck Thickness:</b> 22 Gauge +/-	<b>Type:</b> N/A	<b>Chemical Exposure:</b> None Observed
<b>Roof Truss Type:</b> Steel Bar Joist	<b>Location:</b> N/A	<b>Roof Traffic:</b> Yes - Service
<b>Truss Height:</b> 10" - 12"	<b>Attachment:</b> N/A	<b>Debris:</b> Yes - Roof Surface
<b>Truss Span:</b> Varies	<b>Condition:</b> N/A	
<b>Truss Spacing:</b> 5' - 7' o.c.	<b>Relative Humidity:</b> N/A	

<b>Base Flashings:</b>	<b>Perimeter Types:</b>	<b>Penetrations:</b>	<b>Quantity:</b>
<b>Flashing Type:</b> Modified	<b>Gravel Stop Type:</b> Pre-Finished Steel	<b>Soil Stacks:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Height:</b> 0" - 12" +/-	<b>Gravel Stop Condition:</b> Fair	<b>Exhaust Units:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Coated:</b> No	<b>Parapet Wall Type:</b> Masonry	<b>Standard Curbs:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Cant Strip Type:</b> N/D	<b>Parapet Wall Condition:</b> Fair	<b>Pipe Supports:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Condition:</b> Fair - Poor	<b>Wall Coping Type:</b> N/A	<b>Pitch Pans:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Securement:</b> Asphalt & Mechanical	<b>Wall Coping Condition:</b> N/A	<b>Roof Hatch:</b> <input type="checkbox"/>	<input type="text" value="0"/>
	<b>Wall Coping Size:</b> N/A	<b>Hot Stacks:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Counter Flashing:</b>	<b>Metal Coping Material Type:</b> N/A	<b>Skylights:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Reglet Joint:</b> <input type="checkbox"/> <b>Surface Mount:</b> <input checked="" type="checkbox"/>	<b>Metal Coping Quantity:</b> N/A	<b>Smoke Hatch:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Thru Wall:</b> <input type="checkbox"/> <b>Term Bar:</b> <input checked="" type="checkbox"/>	<b>Expansion Joint Type:</b> N/A	<b>Other:</b> <input checked="" type="checkbox"/>	<input type="text" value="2"/>
<b>CF Metal Type:</b> Aluminum	<b>Expansion Joint Condition:</b> N/A		

<b>Drainage:</b>	<b>Item:</b>	<b>Size:</b>	<b>Material Type:</b>	<b>Quantity:</b>	<b>Condition:</b>
<b>Drainage:</b> Fair	<b>Roof Drains:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Slope:</b> 1/8" - 1' +/-	<b>Scuppers:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Ponding Water:</b> No	<b>Gutters:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Drainage Comments:</b> No ponding water observed during this inspection	<b>Downspouts:</b> <input type="checkbox"/>	N/A	N/A	0	N/A

## Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area B & E1**

#### **Asbestos Material Testing:**

##### **Performed:**

Membrane: No

Flashing: No

Repairs: No

Other: No

##### **Results:**

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

##### **Required:**

Membrane: Yes

Flashing: Yes

Repairs: Yes

Other: Yes

#### **Roof Moisture Survey:**

Moisture Survey Completed: Yes

Results: Negative

Number of Anomalies:

N/A

% of Wet Roof Area:

N/A

Total Sq. Ft. of Wet Roof Area:

N/A

Sq. Ft.

#### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Galvanized Metal	22 Gauge +/-	Spot Welded	Good at Test Cut
2	Polyisocyanurate Insulation	1.5 Inch	Mechanical	Good
3	DensDeck	1/2 Inch	Mechanical	Good
4	Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Fair
5	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Fair

**Roof Condition Code:** Fair

**Recommendation:** Repair

**Replacement Year:** 2028

**Replacement Cost (+/-):** \$19,500.00

**Deficiencies Repair Cost:** \$95.00

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

#### **Roof Area Comments:**

Bldg 8 - Area B & E1:

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a galvanized metal roof deck. Drainage is facilitated by positive slope to the exterior roof edge where run-off then continues over to roof areas below. The current roof assembly was reportedly installed in 2020 & manufactured by Siplast. RCS contact reported that to their knowledge, there is no active manufacturer warranty for the installed roof system.

An infrared moisture survey was performed and the results of the survey were negative with no suspect wet areas being observed. No active interior roof leak locations were identified by RCS project contact.

The overall condition of these roof areas is Fair. Two (2) types of deficient conditions were observed during



## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area B & E1**

the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine maintenance, the Owner should realize an additional 5-7 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

Note: Roof area services non-conditioned space, new roof assembly not required to meet energy code requirements.

**Detailed Deficiency Listing For:**

**Domino Sugar Facility**

**7412 N. Peters Street - Arabi, LA**

**Roof Area - Bldg 8 - Area B & E1**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
C -Critical  
S - Significant  
M - Minor  
MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
Required

**Inspection Date: 9/3/2022**

**Inspectors: Efren Villeda**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
2	M	Debris on roof surface	1	\$25.00	\$25.00
		Remove and properly dispose of all debris	Location		
9	M	Missing / deteriorated sealant at metal counter flashing	2	\$35.00	\$70.00
		Seal with industrial grade polyurethane sealant of a color to match existing	LnFt		

**Grand Total** **\$95.00**

**Priority Code Totals:**

**Minor** **\$95.00**

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility**

**Roof Area - Bldg 8 - Area B & E1**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	<b>5</b>
<b><i>Test Cut Size</i></b>	6" x 6"
<b><i>Troxler Reading</i></b>	N/A
<b><i>Infra-red Reading</i></b>	Negative
<b><i>Delmhorst Reading</i></b>	Dry
<b><i>Deck Condition</i></b>	Good
<b><i>Vapor Retarder Condition</i></b>	N/A
<b><i>Insulation Condition</i></b>	Good
<b><i>Membrane Condition</i></b>	Fair

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area B & E1**

**1. Bldg 8 - Area B roof system overview**



**2. Bldg 8 - Area B roof system overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

3. Bldg 8 - Area B roof system overview



4. Bldg 8 - Area B roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

5. Bldg 8 - Area B roof system overview



6. Bldg 8 - Area B roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

7. Bldg 8 - Area B roof system overview



8. Bldg 8 - Area B roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

9. Bldg 8 - Area E1 roof system overview



10. Bldg 8 - Area E1 roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

11. Deficiency #2 - Debris on roof surface



12. Deficiency #2 - Debris on roof surface



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

13. Deficiency #9 - Missing /  
deteriorated sealant at metal  
counter flashing



14. Deficiency #9 - Missing /  
deteriorated sealant at metal  
counter flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

15. Test Cut #5 (Area B): View of modified bitumen plies



16. Test Cut #5 (Area B): Delmhorst moisture meter reading negative for moisture within the DensDeck sheathing layer



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

17. Test Cut #5 (Area B): View of DensDeck measurement



18. Test Cut #5 (Area B): View of roof insulation measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

19. Test Cut #5 (Area B): View of roof composition removed exposing a galvanized metal deck



20. Test Cut #5 (Area B): View of RCS repair



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

21. Infrared image on Bldg 8 - Area B with no suspect wet areas observed



22. Infrared image on Bldg 8 - Area B with no suspect wet areas observed



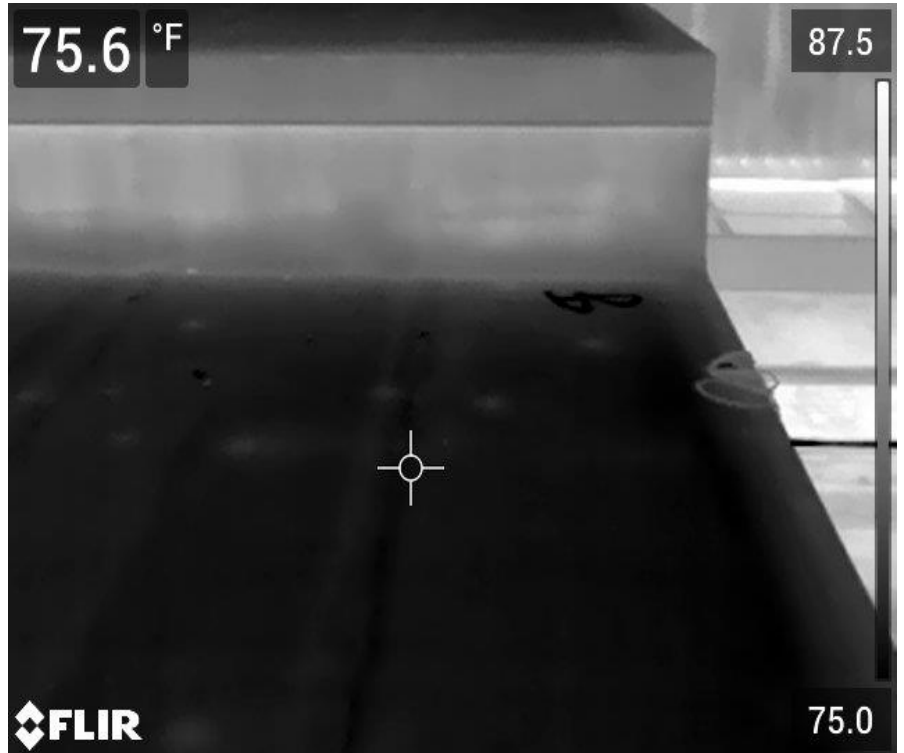
9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B & E1

23. Infrared image on Bldg 8 - Area B with no suspect wet areas observed



24. Infrared image on Bldg 8 - Area E1 with no suspect wet areas observed



9/3/2022

# Roof Area Information For:

Domino Sugar Facility

7412 N. Peters Street

Arabi, LA

## Roof Area - Bldg 8 - Area B1

### Roof System Data

Area Name: Bldg 8 - Area B1	Year Installed: 2020	Active Leaks: None Reported
Size Sq. Ft. (+/-): 559	Remaining Service Life (Years): 2-4 +/-	Leak History: Unknown
Roof Elevation: 30' +/-	Average Roof System R Value: 9.14	Leak Sensitivity: Normal

Roofing Contractor:	Guarantee Info:	Roof System:
Company: Unknown	Guarantee (Y/N): Unknown	Roof System Type: Modified BUR
Contact: Unknown	Manufacturer: Siplast	Roof Membrane Type: Granular Surfaced Modified Bitumen
Phone: Unknown	Guarantee Term: Unknown	Membrane Condition: Poor
	Guarantee Number: Unknown	Roof Surfacing Type: Granules
	Expiration Date: Unknown	Recovery System: No

Roof Deck and Support Structure:	Vapor Retarder:	Maintenance Items:
Deck Type: Suspect Metal Form	Vapor Retarder: No	Mechanical Damage: None Observed
Deck Thickness: N/D	Type: N/A	Chemical Exposure: None Observed
Roof Truss Type: Steel Bar Joist	Location: N/A	Roof Traffic: Yes - Service
Truss Height: 12"	Attachment: N/A	Debris: Yes - Roof Surface
Truss Span: Varies	Condition: N/A	
Truss Spacing: 5' o.c.	Relative Humidity: N/A	

Base Flashings:	Perimeter Types:	Penetrations:	Quantity:
Flashing Type: Modified	Gravel Stop Type: Pre-Finished Steel	Soil Stacks: <input type="checkbox"/>	0
Height: 8" - 16" +/-	Gravel Stop Condition: Good	Exhaust Units: <input type="checkbox"/>	0
Coated: No	Parapet Wall Type: Masonry	Standard Curbs: <input type="checkbox"/>	0
Cant Strip Type: N/D	Parapet Wall Condition: Good	Pipe Supports: <input type="checkbox"/>	0
Condition: Good	Wall Coping Type: N/A	Pitch Pans: <input type="checkbox"/>	0
Securement: Asphalt & Mechanical	Wall Coping Condition: N/A	Roof Hatch: <input type="checkbox"/>	0
	Wall Coping Size: N/A	Hot Stacks: <input type="checkbox"/>	0
	Metal Coping Material Type: N/A	Skylights: <input type="checkbox"/>	0
	Metal Coping Quantity: N/A	Smoke Hatch: <input type="checkbox"/>	0
	Expansion Joint Type: N/A	Other: <input checked="" type="checkbox"/>	2
	Expansion Joint Condition: N/A		

Drainage:	Item:	Size:	Material Type:	Quantity:	Condition:
Drainage: Fair	Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Slope: 1/4" - 1' +/-	Scuppers: <input type="checkbox"/>	N/A	N/A	0	N/A
Ponding Water: Yes	Gutters: <input type="checkbox"/>	N/A	N/A	0	N/A
Drainage Comments: Ponding water observed during this inspection	Downspouts: <input type="checkbox"/>	N/A	N/A	0	N/A



# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area B1**

### **Asbestos Material Testing:**

#### **Performed:**

Membrane: No

Flashing: No

Repairs: No

Other: No

#### **Results:**

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

#### **Required:**

Membrane: Yes

Flashing: Yes

Repairs: Yes

Other: Yes

### **Roof Moisture Survey:**

Moisture Survey Completed: Yes

Results: Negative

Number of Anomalies:

N/A

% of Wet Roof Area:

N/A

Total Sq. Ft. of Wet Roof Area:

N/A

Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Suspect Metal Form	N/D	Not Determined	Not Determined
2	Lightweight Concrete	N/D	Poured	Good at Test Cut
3	Polyisocyanurate Insulation	1.5 Inch	Mechanical	Good
4	DensDeck	1/2 Inch	Mechanical	Good
5	SBS Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor
6	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor

**Roof Condition Code: Poor**

**Recommendation: Repair**

**Replacement Year: 2025**

**Replacement Cost (+/-): \$25,500.00**

**Deficiencies Repair Cost: \$2,100.00**

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Bldg 8 - Area B1:

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a lightweight concrete in metal form roof deck. Drainage is facilitated by positive slope to the exterior roof edge where run-off then continues over to roof areas below. The current roof assembly was reportedly installed in 2020 & manufactured by Siplast. RCS contact reported that to their knowledge, there is no active manufacturer warranty for the installed roof system.

An infrared moisture survey was performed and the results of the survey were negative with no suspect wet areas being observed. No active interior roof leak locations were identified by RCS project contact.

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area B1**

The overall condition of this roof area is Poor. Five (5) types of deficient conditions were observed during the course of this roof system investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With proper repairs to the noted deficiencies and continued routine maintenance, the Owner should realize an additional 2-4 +/- years of service life from the installed roof system. However, these repairs will not increase the remaining service life of the roof system. It should also be anticipated that additional repairs may be required to stop leak conditions that may develop prior to the roof system replacement being completed.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

Note: Roof area services non-conditioned space, new roof assembly not required to meet energy code requirements.

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area B1**

**Deficiency Priority Codes:**

**Current Year Priorities**  
E - Emergency  
C - Critical  
S - Significant  
M - Minor  
MN - Monitor

**Future Year Maintenance**  
1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

**N/A - Not Applicable**  
No Correction Action  
Required

**Inspection Date:** 9/3/2022

**Inspectors:** Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
2	M	Debris on roof surface	1	\$25.00	\$25.00
		Remove and properly dispose of all debris	Location		
3	M	Open flashing	2	\$225.00	\$450.00
		Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	Locations		
6	M	Damaged metal edge	25	\$65.00	\$1,625.00
		Replace damaged metal edge to match existing in material and profile properly flashed into the existing roof system with compatible roofing materials	LnFt		
7	MN	Ponding water observed on roof surface	1		
		Monitor and address at time of roof system replacement or as needed to maintain watertight integrity of the roof system	Area		
8	MN	Incomplete flashing at built-in sleeper	14		
		Monitor and address at time of roof system replacement or as needed to maintain watertight integrity	LnFt		

**Grand Total** **\$2,100.00**

**Priority Code Totals:**

Minor **\$2,100.00**

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility**

**Roof Area - Bldg 8 - Area B1**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	<b>4</b>
<b><i>Test Cut Size</i></b>	<b>6" x 6"</b>
<b><i>Troxler Reading</i></b>	<b>N/A</b>
<b><i>Infra-red Reading</i></b>	<b>Negative</b>
<b><i>Delmhorst Reading</i></b>	<b>Dry</b>
<b><i>Deck Condition</i></b>	<b>Fair</b>
<b><i>Vapor Retarder Condition</i></b>	<b>N/A</b>
<b><i>Insulation Condition</i></b>	<b>Good</b>
<b><i>Membrane Condition</i></b>	<b>Poor</b>

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area B1**

**1. Bldg 8 - Area B1 roof system  
overview**



**2. Bldg 8 - Area B1 roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

3. Bldg 8 - Area B1 roof system overview



4. Bldg 8 - Area B1 roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area B1**

**5. Bldg 8 - Area B1 roof system overview**



**6. Bldg 8 - Area B1 roof system overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

7. Bldg 8 - Area B1 roof system overview



8. Bldg 8 - Area B1 roof system overview



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

9. Bldg 8 - Area B1 roof system overview



10. Bldg 8 - Area B1 roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

11. Deficiency #2 - Debris on roof surface



12. Deficiency #2 - Debris on roof surface

Deficiency #7 - Ponding water observed on roof surface



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

13. Deficiency #3 - Open flashing



14. Deficiency #3 - Open flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

15. Deficiency #6 - Damaged metal edge



16. Deficiency #6 - Damaged metal edge



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

17. Deficiency #8 - Incomplete flashing at built-in sleeper



18. Test Cut #4 (Area B1): View of modified bitumen plies



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

19. Test Cut #4 (Area B1): Delmhorst moisture meter reading negative for moisture within the DensDeck sheathing layer



20. Test Cut #4 (Area B1): View of DensDeck measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

21. Test Cut #4 (Area B1): View of roof insulation measurement



22. Test Cut #4 (Area B1): View of roof composition removed exposing a lightweight concrete in metal form roof deck



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

23. Test Cut #4 (Area B1): View of  
RCS repair



24. Infrared image on Bldg 8 - Area  
B1 with no suspect wet areas  
observed



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

25. Infrared image on Bldg 8 - Area B1 with no suspect wet areas observed



26. Infrared image on Bldg 8 - Area B1 with no suspect wet areas observed



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area B1

27. Infrared image on Bldg 8 - Area B1 with no suspect wet areas observed



9/3/2022

# Roof Area Information For:

Domino Sugar Facility

7412 N. Peters Street

Arabi, LA

## Roof Area - Bldg 8 - Area C, F, G & J

### Roof System Data

Area Name: Bldg 8 - Area C, F, G & J	Year Installed: 2020	Active Leaks: None Reported
Size Sq. Ft. (+/-): 8,196	Remaining Service Life (Years): 2-4 +/-	Leak History: Minor
Roof Elevation: 50' +/-	Average Roof System R Value: 11.46	Leak Sensitivity: Normal

#### Roofing Contractor:

Company: Unknown  
Contact: Unknown  
Phone: Unknown

#### Guarantee Info:

Guarantee (Y/N): Unknown  
Manufacturer: Siplast  
Guarantee Term: Unknown  
Guarantee Number: Unknown  
Expiration Date: Unknown

#### Roof System:

Roof System Type: Modified BUR  
Roof Membrane Type: Granular Surfaced Modified Bitumen  
Membrane Condition: Poor  
Roof Surfacing Type: Granules  
Recovery System: No

#### Roof Deck and Support Structure:

Deck Type: Galvanized Metal  
Deck Thickness: 22 Gauge +/-  
Roof Truss Type: Steel Bar Joist  
Truss Height: 8" - 10"  
Truss Span: Varies  
Truss Spacing: 5' - 7' o.c.

#### Vapor Retarder:

Vapor Retarder: No  
Type: N/A  
Location: N/A  
Attachment: N/A  
Condition: N/A  
Relative Humidity: N/A

#### Maintenance Items:

Mechanical Damage: None Observed  
Chemical Exposure: None Observed  
Roof Traffic: Yes - Service  
Debris: Yes - Roof Surface

#### Base Flashings:

Flashing Type: Modified  
Height: 3" - 24" +/-  
Coated: No  
Cant Strip Type: N/D  
Condition: Poor  
Securement: Asphalt & Mechanical

#### Counter Flashing:

Reglet Joint:  Surface Mount:   
Thru Wall:  Term Bar:   
CF Metal Type: Aluminum

#### Perimeter Types:

Gravel Stop Type: Pre-Finished Steel  
Gravel Stop Condition: Good  
Parapet Wall Type: Masonry  
Parapet Wall Condition: Fair / Poor  
Wall Coping Type: N/A  
Wall Coping Condition: N/A  
Wall Coping Size: N/A  
Metal Coping Material Type: N/A  
Metal Coping Quantity: N/A  
Expansion Joint Type: N/A  
Expansion Joint Condition: N/A

#### Penetrations:

Penetrations:	Quantity:
Soil Stacks: <input type="checkbox"/>	0
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	4
Pipe Supports: <input checked="" type="checkbox"/>	13
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input type="checkbox"/>	0

#### Drainage:

Drainage: Poor  
Slope: 1/4" - 1' +/-  
Ponding Water: Yes  
Drainage Comments: Ponding water observed during this inspection

#### Item:

#### Size:

#### Material Type:

#### Quantity:

#### Condition:

Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input checked="" type="checkbox"/>	10" x 10"	Aluminum	1	Poor
Gutters: <input type="checkbox"/>	N/A	N/A	0	N/A
Downspouts: <input checked="" type="checkbox"/>	6" x 6"	Aluminum	1	Poor

# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area C, F, G & J**

### **Asbestos Material Testing:**

#### **Performed:**

Membrane: No

Flashing: No

Repairs: No

Other: No

#### **Results:**

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

#### **Required:**

Membrane: Yes

Flashing: Yes

Repairs: Yes

Other: Yes

### **Roof Moisture Survey:**

Moisture Survey Completed: Yes

Results: Negative

Number of Anomalies:

N/A

% of Wet Roof Area:

N/A

Total Sq. Ft. of Wet Roof Area:

N/A

Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Galvanized Metal	22 Gauge +/-	Spot Welded	Good at Test Cut
2	Polyisocyanurate Insulation	1.5 - 2.25 Inch	Mechanical	Good
3	DensDeck	1/2 Inch	Mechanical	Good
4	Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Fair
5	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor

**Roof Condition Code:** Poor

**Recommendation:** Repair

**Replacement Year:** 2025

**Replacement Cost (+/-):** \$369,000.00

**Deficiencies Repair Cost:** \$31,365.00

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Bldg 8 - Area C, F, G & J

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a galvanized metal deck. Drainage is facilitated by 1 scupper with downspout. The current roof assembly was reportedly installed in 2020 & manufactured by Siplast. RCS contact reported that to their knowledge, there is no active manufacturer warranty for the installed roof system.

An infrared moisture survey was performed and the results of the survey were negative with no suspect wet areas being observed. No active interior roof leak locations were identified by RCS project contact.

The overall condition of these roof areas is Poor. Nine (9) types of deficient conditions were observed during the course of this roof system investigation. A comprehensive list of these deficient conditions can be found

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area C, F, G & J**

in the Detailed Deficiency Listing section of this report. With proper repairs to the noted deficiencies and continued routine maintenance, the Owner should realize an additional 2-4 +/- years of service life from the installed roof system. However, these repairs will not increase the remaining service life of the roof system. It should also be anticipated that additional repairs may be required to stop leak conditions that may develop prior to the roof system replacement being completed.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

Note: Roof area services non-conditioned space, new roof assembly not required to meet energy code requirements.

Secondary roof areas including metal panels are located adjacent to the primary roof areas and any deficient conditions observed on these areas have been included in the Detailed Deficiency Listing of the primary roof area. Please see the Project Information / Roof Areas Summary for estimated remaining service life and roof replacement budget estimates per square foot of roof area for these additional roof areas.

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area C, F, G & J**

**Deficiency Priority Codes:**

**Current Year Priorities**  
 E - Emergency  
 C -Critical  
 S - Significant  
 M - Minor  
 MN - Monitor

**Future Year Maintenance**  
 1 - First Year Funding  
 2 - Second Year Funding  
 3 - Third Year Funding  
 4 - Fourth Year Funding  
 5 - Fifth Year Funding

**N/A - Not Applicable**  
 No Correction Action  
 Required

**Inspection Date:** 9/3/2022

**Inspectors:** Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
2	M	Debris on roof surface	1	\$25.00	\$25.00
		Remove and properly dispose of all debris	Location		
3	M	Open flashing	13	\$225.00	\$2,925.00
		Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	Locations		
4	M	Hole / puncture in membrane / felts	2	\$275.00	\$550.00
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric	Locations		
5	MN	Vegetative growth on roof surface	1		
		Address at time of roof replacement	Location		
7	MN	Ponding water observed on roof surface	2		
		Monitor and address at time of roof system replacement or as needed to maintain watertight integrity of the roof system	Areas		
11	M	Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure	124	\$175.00	\$21,700.00
		Remove bottom course of fasteners from vertical panel assembly. Where required, install additional mechanical flashing termination (stagger termination fasteners 8" o.c. max). Install Z-metal panel closure below panel assembly and resecure the bottom fastening course of the panel assembly though the subsequent Z-metal panel closure.	LnFt		
14	M	Open lap in field membrane	1	\$275.00	\$275.00
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric	LnFt		

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area C, F, G & J**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
 C -Critical  
 S - Significant  
 M - Minor  
 MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
 2 - Second Year Funding  
 3 - Third Year Funding  
 4 - Fourth Year Funding  
 5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
 Required

Inspection Date: 9/3/2022

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
16	MN	Improper roof edge detail - additional wood blocking to match insulation height required at roof area perimeter	62		
		Due to minimal expected remaining service life, monitor condition and address only as required to maintain a watertight condition until time that the roof system is replaced	LnFt		
17	M	Improperly fabricated & installed fascia metal - as fabricated and installed perimeter edge does not meet ANSI/SPRI/FM4435 ES-1 wind design standard for edge systems used with low slope roofing systems	62	\$95.00	\$5,890.00
		Provide and install a new metal fascia system to comply with ANSI/SPRI/FM4435 ES-1 or as provided by an ANSI approved fabricator. Materials for new metal fascia shall be .050 aluminum with a Kynar (or approved equal) finish. Finish shall be minimum 70% Kynar fluorocarbon coating. Color shall be selected by the Owner from manufacturer's full range of colors.	LnFt		

**Grand Total** **\$31,365.00**

**Priority Code Totals:**

Minor **\$31,365.00**

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility**

**Roof Area - Bldg 8 - Area C, F, G & J**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	<b>6</b>	<b>9</b>	<b>11</b>	<b>12</b>
<b><i>Test Cut Size</i></b>	6" x 6"	6" x 6"	6" x 6"	6" x 6"
<b><i>Troxler Reading</i></b>	N/A	N/A	N/A	N/A
<b><i>Infra-red Reading</i></b>	Negative	Negative	Negative	Negative
<b><i>Delmhorst Reading</i></b>	Dry	Dry	Dry	Dry
<b><i>Deck Condition</i></b>	Good	Good	Good	Good
<b><i>Vapor Retarder Condition</i></b>	N/A	N/A	N/A	N/A
<b><i>Insulation Condition</i></b>	Good	Good	Good	Good
<b><i>Membrane Condition</i></b>	Poor	Poor	Poor	Poor



# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**1. Bldg 8 - Area C roof system  
overview**



**2. Bldg 8 - Area C roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**3. Bldg 8 - Area C roof system  
overview**



**4. Bldg 8 - Area C roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

5. Bldg 8 - Area C roof system overview



6. Bldg 8 - Area C roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

7. Bldg 8 - Area C roof system overview



8. Bldg 8 - Area C roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

9. Bldg 8 - Area C roof system overview



10. Bldg 8 - Area C roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**11. Bldg 8 - Area C roof system  
overview**



**12. Bldg 8 - Area C roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**13. Bldg 8 - Area C roof system overview**



**14. Bldg 8 - Area F roof system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**15. Bldg 8 - Area F roof system  
overview**



**16. Bldg 8 - Area F roof system  
overview**



**9/3/2022**



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

17. Bldg 8 - Area F roof system overview



18. Bldg 8 - Area F roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

19. Bldg 8 - Area F roof system overview



20. Bldg 8 - Area F roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**21. Bldg 8 - Area F roof system overview**



**22. Bldg 8 - Area G roof system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**23. Bldg 8 - Area G roof system  
overview**



**24. Bldg 8 - Area G roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**25. Bldg 8 - Area G roof system  
overview**



**26. Bldg 8 - Area G roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**27. Bldg 8 - Area G roof system  
overview**



**28. Bldg 8 - Area G roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**29. Bldg 8 - Area G roof system  
overview**



**30. Bldg 8 - Area G roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**31. Bldg 8 - Area G roof system  
overview**



**32. Bldg 8 - Area G roof system  
overview**



**9/3/2022**



# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**33. Bldg 8 - Area G roof system  
overview**



**34. Bldg 8 - Area G roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

35. Deficiency #2 - Debris on roof surface



36. Deficiency #3 - Open flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

37. Deficiency #3 - Open flashing



38. Deficiency #4 - Hole / puncture  
in membrane / felts



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

39. Deficiency #4 - Hole / puncture  
in membrane / felts



40. Deficiency #5 - Vegetative  
growth on roof surface



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

41. Deficiency #7 - Ponding water  
observed on roof surface



42. Deficiency #7 - Ponding water  
observed on roof surface



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**43. Deficiency #11 - Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure**



**44. Deficiency #11 - Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

45. Deficiency #14 - Open lap in field membrane



46. Deficiency #14 - Open lap in field membrane



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**47. Deficiency #16 - Improper roof edge detail - additional wood blocking to match insulation height required at roof area perimeter**



**48. Deficiency #16 - Improper roof edge detail - additional wood blocking to match insulation height required at roof area perimeter**



**9/3/2022**



# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area C, F, G & J**

**49. Deficiency #17 - Improperly fabricated & installed fascia metal - as fabricated and installed perimeter edge does not meet ANSI/SPRI/FM4435 ES-1 wind design standard for edge systems used with low slope roofing systems**



**50. Deficiency #17 - Improperly fabricated & installed fascia metal - as fabricated and installed perimeter edge does not meet ANSI/SPRI/FM4435 ES-1 wind design standard for edge systems used with low slope roofing systems**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

51. Test Cut #6 (Area C): Modified bitumen plies



52. Test Cut #6 (Area C): Delmhorst moisture meter reading negative for moisture within DensDeck sheathing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

53. Test Cut #6 (Area C): View of DensDeck measurement



54. Test Cut #6 (Area C): View of roof insulation measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

55. Test Cut #6 (Area C):  
Composition removed exposing a  
galvanized metal deck



56. Test Cut #6 (Area C): View of  
RCS repair



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

57. Test Cut #9 (Area F): Modified bitumen plies



58. Test Cut #9 (Area F): Delmhorst reading negative for moisture within DensDeck sheathing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

59. Test Cut #9 (Area F): View of DensDeck measurement



60. Test Cut #9 (Area F): View of roof insulation measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

61. Test Cut #9 (Area F): View of roof composition removed exposing a galvanized metal deck



62. Test Cut #9 (Area F): View of RCS repair



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

63. Test Cut #11 (Area G): Modified bitumen plies



64. Test Cut #11 (Area G):  
Delmhorst moisture meter reading  
negative for moisture within the  
DensDeck sheathing layer



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

65. Test Cut #11 (Area G): View of DensDeck measurement



66. Test Cut #11 (Area G): View of roof insulation measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

67. Test Cut #11 (Area G): View of roof composition removed exposing a galvanized metal deck



68. Test Cut #12 (Area G): Modified bitumen plies



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

69. Test Cut #12 (Area G):  
Delmhorst moisture meter reading  
negative for moisture within the  
DensDeck sheathing layer



70. Test Cut #12 (Area G): DensDeck  
sheathing measurement



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

71. Test Cut #12 (Area G): View of roof insulation measurement



72. Test Cut #12 (Area G): View of roof composition removed exposing a galvanized metal deck



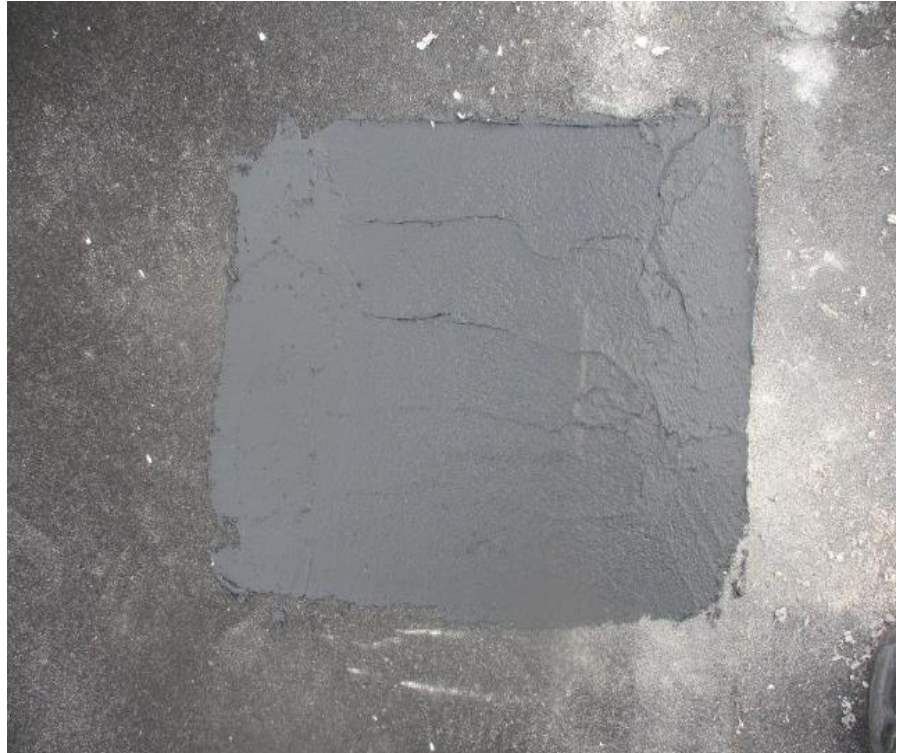
9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

73. Test Cut #12 (Area G): View of  
RCS repair



74. Infrared image on Bldg 8 - Area C  
with no suspect wet areas  
observed



9/3/2022

# Photograph Documentation

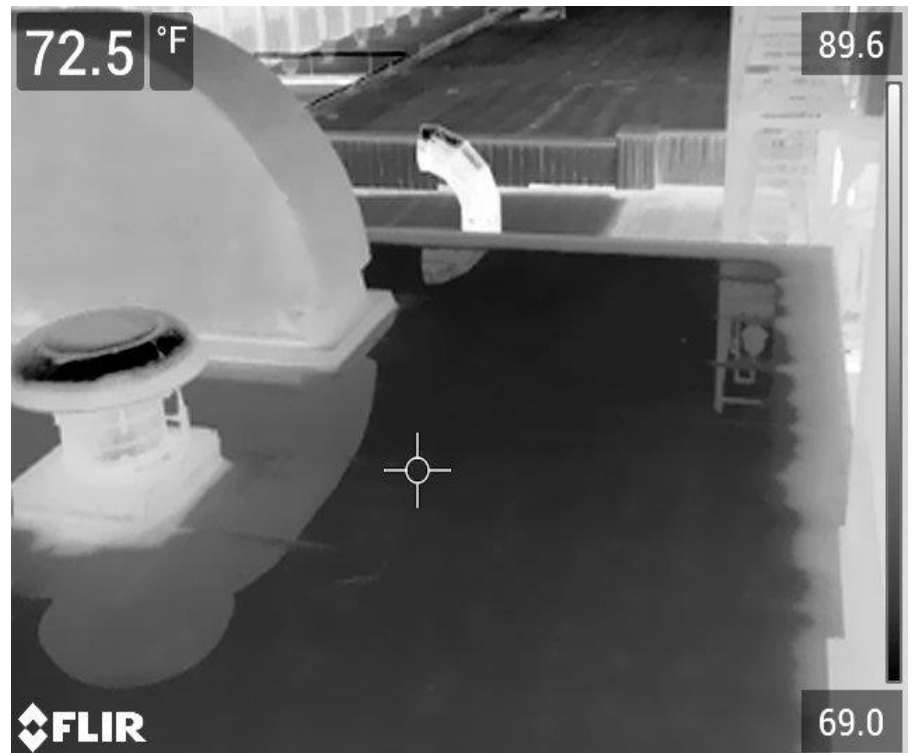
Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

75. Infrared image on Bldg 8 - Area C with no suspect wet areas observed



76. Infrared image on Bldg 8 - Area F with no suspect wet areas observed



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

77. Infrared image on Bldg 8 - Area F with no suspect wet areas observed



78. Infrared image on Bldg 8 - Area G with no suspect wet areas observed



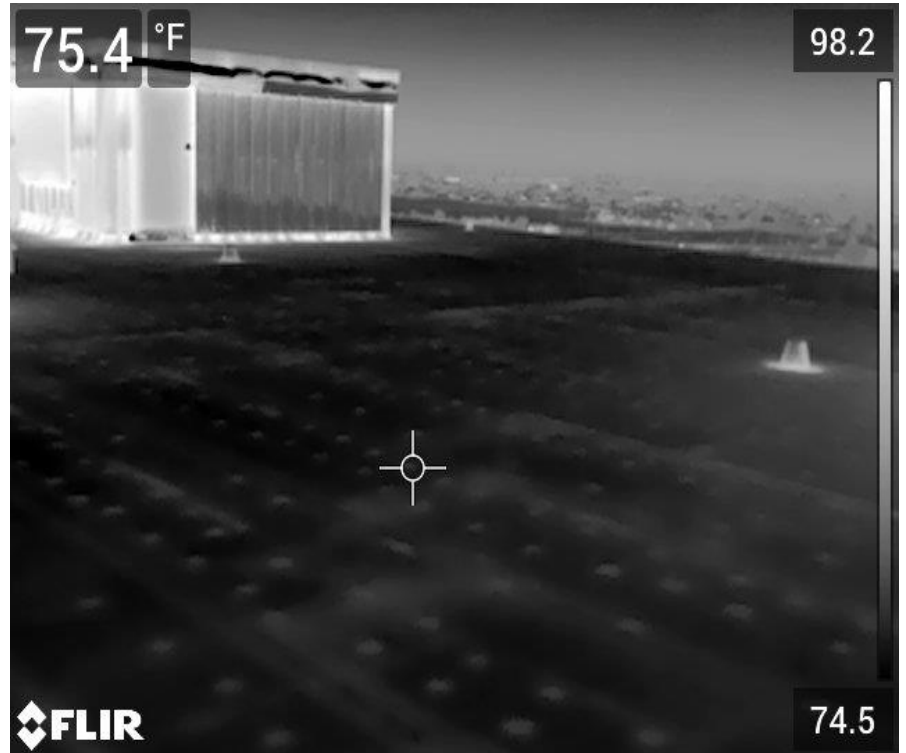
9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area C, F, G & J

79. Infrared image on Bldg 8 - Area G with no suspect wet areas observed



9/3/2022



# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area D, E, D1 & E2**

### **Roof System Data**

<b>Area Name:</b> Bldg 8 - Area D, E, D1 & E2	<b>Year Installed:</b> 2020	<b>Active Leaks:</b> None Reported
<b>Size Sq. Ft. (+/-):</b> 2,750	<b>Remaining Service Life (Years):</b> 2-4 +/-	<b>Leak History:</b> Minor
<b>Roof Elevation:</b> 50' - 60' +/-	<b>Average Roof System R Value:</b> N/D	<b>Leak Sensitivity:</b> Normal

#### **Roofing Contractor:**

**Company:** Unknown  
**Contact:** Unknown  
**Phone:** Unknown

#### **Guarantee Info:**

**Guarantee (Y/N):** Unknown  
**Manufacturer:** Unknown  
**Guarantee Term:** Unknown  
**Guarantee Number:** Unknown  
**Expiration Date:** Unknown

#### **Roof System:**

**Roof System Type:** Modified BUR  
**Roof Membrane Type:** Granular Surfaced Modified Bitumen  
**Membrane Condition:** Poor  
**Roof Surfacing Type:** Granules  
**Recovery System:** No

#### **Roof Deck and Support Structure:**

**Deck Type:** Structural Concrete  
**Deck Thickness:** 4 - 6 Inch +/-  
**Roof Truss Type:** N/D - No Access  
**Truss Height:** N/D  
**Truss Span:** N/D  
**Truss Spacing:** N/D

#### **Vapor Retarder:**

**Vapor Retarder:** No  
**Type:** N/A  
**Location:** N/A  
**Attachment:** N/A  
**Condition:** N/A  
**Relative Humidity:** N/A

#### **Maintenance Items:**

**Mechanical Damage:** None Observed  
**Chemical Exposure:** None Observed  
**Roof Traffic:** Yes - Service  
**Debris:** Yes - Roof Surface

#### **Base Flashings:**

**Flashing Type:** Modified  
**Height:** 6" - 8" +/-  
**Coated:** No  
**Cant Strip Type:** N/D  
**Condition:** Poor  
**Securement:** Asphalt & Mechanical

#### **Counter Flashing:**

**Reglet Joint:**  **Surface Mount:**   
**Thru Wall:**  **Term Bar:**   
**CF Metal Type:** Aluminum / Steel

#### **Perimeter Types:**

**Gravel Stop Type:** Pre-Finished Steel  
**Gravel Stop Condition:** Good  
**Parapet Wall Type:** Masonry  
**Parapet Wall Condition:** Fair  
**Wall Coping Type:** N/A  
**Wall Coping Condition:** N/A  
**Wall Coping Size:** N/A  
**Metal Coping Material Type:** N/A  
**Metal Coping Quantity:** N/A  
**Expansion Joint Type:** N/A  
**Expansion Joint Condition:** N/A

#### **Penetrations:**

#### **Quantity:**

<b>Soil Stacks:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Exhaust Units:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Standard Curbs:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Pipe Supports:</b> <input checked="" type="checkbox"/>	<input type="text" value="35"/>
<b>Pitch Pans:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Roof Hatch:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Hot Stacks:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Skylights:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Smoke Hatch:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Other:</b> <input type="checkbox"/>	<input type="text" value="0"/>

#### **Drainage:**

**Drainage:** Good  
**Slope:** 1/4" - 1' +/-  
**Ponding Water:** Yes  
**Drainage Comments:** Ponding water observed during this inspection

#### **Item:**

#### **Size:**

#### **Material Type:**

#### **Quantity:**

#### **Condition:**

<b>Roof Drains:</b> <input checked="" type="checkbox"/>	3"	Aluminum	3	Good
<b>Scuppers:</b> <input type="checkbox"/>	N/A	N/A	N/A	N/A
<b>Gutters:</b> <input type="checkbox"/>	N/A	N/A	N/A	N/A
<b>Downspouts:</b> <input type="checkbox"/>	N/A	N/A	N/A	N/A

# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area D, E, D1 & E2**

### **Asbestos Material Testing:**

#### **Performed:**

Membrane: No

Flashing: No

Repairs: No

Other: No

#### **Results:**

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

#### **Required:**

Membrane: Yes

Flashing: Yes

Repairs: Yes

Other: Yes

### **Roof Moisture Survey:**

Moisture Survey Completed: No

Results: N/A - Non-Insulated

Number of Anomalies:

N/A

% of Wet Roof Area:

N/A

Total Sq. Ft. of Wet Roof Area:

N/A

Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Structural Concrete	4 - 6 Inch +/-	Poured	Fair at Test Cut
2	Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor
3	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Poor

**Roof Condition Code: Poor**

**Recommendation: Repair**

**Replacement Year: 2025**

**Replacement Cost (+/-): \$123,750.00**

**Deficiencies Repair Cost: \$43,425.00**

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Bldg 8 - Area D, E, D1 & E2

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a structural concrete deck. Drainage is facilitated by 2 interior roof drains. The current roof assembly was reportedly installed in 2020 & manufactured by Siplast. RCS contact reported that to their knowledge, there is no active manufacturer warranty for the installed roof system.

No infrared moisture survey was performed on these roof areas due to the roof being a non-insulated roof system. No active interior roof leak locations were identified by RCS project contact.

The overall condition of these roof areas is Poor. Twelve (12) types of deficient conditions were observed during the course of this roof system investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With proper repairs to the noted deficiencies and continued routine maintenance, the Owner should realize an additional 2-4 +/- years of service life from the installed roof system. However, these repairs will not increase the remaining service life of the roof

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area D, E, D1 & E2**

system. It should also be anticipated that additional repairs may be required to stop leak conditions that may develop prior to the roof system replacement being completed.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

Note: Roof area services non-conditioned space, new roof assembly not required to meet energy code requirements.

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
 C - Critical  
 S - Significant  
 M - Minor  
 MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
 2 - Second Year Funding  
 3 - Third Year Funding  
 4 - Fourth Year Funding  
 5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
 Required

Inspection Date: 9/3/2022

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
2	M	Debris on roof surface	6	\$25.00	\$150.00
		Remove and properly dispose of all debris	Locations		
3	M	Open flashing	27	\$225.00	\$6,075.00
		Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	Locations		
4	M	Hole / puncture in membrane / felts	2	\$275.00	\$550.00
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric	Locations		
7	MN	Ponding water observed on roof surface	1		
		Monitor and address at time of roof system replacement or as needed to maintain watertight integrity of the roof system	Area		
9	MN	Missing / deteriorated sealant at metal counter flashing	83		
		Monitor at this time and address only as required to maintain a watertight condition until time of the eventual roof system replacement	LnFt		
10	MN	Rust developing on metal component	1		
		Monitor address at time of replacement	Location		
11	M	Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure	112	\$175.00	\$19,600.00
		Remove bottom course of fasteners from vertical panel assembly. Where required, install additional mechanical flashing termination (stagger termination fasteners 8" o.c. max). Install Z-metal panel closure below panel assembly and resecure the bottom fastening course of the panel assembly though the subsequent Z-metal panel closure.	LnFt		

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
 C -Critical  
 S - Significant  
 M - Minor  
 MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
 2 - Second Year Funding  
 3 - Third Year Funding  
 4 - Fourth Year Funding  
 5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
 Required

Inspection Date: 9/3/2022

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
12	MN	Missing termination bar	27		
		Condition to be addressed by corrective action provided for deficient condition #11 - no further action required	LnFt		
13	M	Damaged / missing vertical metal panels	2	\$750.00	\$1,500.00
		Repair existing panels if feasible & cost effective - replace to match existing vertical building panels in size and configuration - install to provide a closed / weather resistant condition	Locations		
14	M	Open lap in field membrane	2	\$275.00	\$550.00
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric	LnFt		
15	MN	Improper edge detail - insufficient fastening pattern & edge metal not properly stripped into roof system	239		
		Address at time of roof replacement or as required to maintain a watertight condition until that time	LnFt		
23	IM	Fire damaged membrane / system	250	\$60.00	\$15,000.00
		Remove vertical wall panels at adjacent rising walls, remove and dispose of damaged metal counter flashing, vertical base flashing, and field membranes. Replace with new 2-ply SBS modified bitumen roofing installed in cold process adhesives, install metal counter flashing detail at interior rising walls to match existing and reinstall vertical wall panels secured with hex head fasteners compatible to the existing substrate type which include neoprene sealing / bearing washers	SqFt		

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
 C -Critical  
 S - Significant  
 M - Minor  
 MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
 2 - Second Year Funding  
 3 - Third Year Funding  
 4 - Fourth Year Funding  
 5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
 Required

Inspection Date: 9/3/2022

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		

**Grand Total** **\$43,425.00**

**Priority Code Totals:**

Immediate	<b>\$15,000.00</b>
Minor	<b>\$28,425.00</b>

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	<b>7</b>	<b>10</b>
<b><i>Test Cut Size</i></b>	6" x 6"	6" x 6"
<b><i>Troxler Reading</i></b>	N/A	N/A
<b><i>Infra-red Reading</i></b>	N/A	N/A
<b><i>Delmhorst Reading</i></b>	Dry	Wet
<b><i>Deck Condition</i></b>	Good	Good
<b><i>Vapor Retarder Condition</i></b>	N/A	N/A
<b><i>Insulation Condition</i></b>	N/A	N/A
<b><i>Membrane Condition</i></b>	Poor	Poor

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**1. Bldg 8 - Area D roof system  
overview**



**2. Bldg 8 - Area D roof system  
overview**



**9/3/2022**



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

3. Bldg 8 - Area D roof system overview



4. Bldg 8 - Area D roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

5. Bldg 8 - Area D roof system overview



6. Bldg 8 - Area D roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

7. Bldg 8 - Area D roof system overview



8. Bldg 8 - Area D roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

9. Bldg 8 - Area D roof system overview



10. Bldg 8 - Area D roof system overview



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# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**11. Bldg 8 - Area E roof system  
overview**



**12. Bldg 8 - Area E roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

13. Bldg 8 - Area E roof system overview



14. Bldg 8 - Area E roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

15. Bldg 8 - Area E roof system overview



16. Bldg 8 - Area E roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

17. Bldg 8 - Area E roof system overview



18. Bldg 8 - Area E roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

19. Bldg 8 - Area E roof system overview



20. Bldg 8 - Area E roof system overview



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# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**21. Bldg 8 - Area E roof system  
overview**



**22. Bldg 8 - Area E roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

23. Bldg 8 - Area E roof system overview



24. Bldg 8 - Area D1 roof system overview



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# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**25. Bldg 8 - Area D1 roof system overview**



**26. Bldg 8 - Area D1 roof system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**27. Bldg 8 - Area D1 roof system  
overview**



**28. Bldg 8 - Area D1 roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

29. Bldg 8 - Area D1 roof system overview



30. Bldg 8 - Area D1 roof system overview



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# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

31. Bldg 8 - Area D1 roof system overview



32. Bldg 8 - Area D1 roof system overview



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# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**33. Bldg 8 - Area D1 roof system  
overview**



**34. Bldg 8 - Area D1 roof system  
overview**



**9/3/2022**



# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**35. Bldg 8 - Area D1 roof system  
overview**



**36. Bldg 8 - Area D1 roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**37. Bldg 8 - Area D1 roof system  
overview**



**38. Bldg 8 - Area E2 roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**39. Bldg 8 - Area E2 roof system  
overview**



**40. Bldg 8 - Area E2 roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**41. Bldg 8 - Area E2 roof system  
overview**



**42. Bldg 8 - Area E2 roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**43. Bldg 8 - Area E2 roof system  
overview**



**44. Bldg 8 - Area E2 roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**45. Bldg 8 - Area E2 roof system  
overview**



**46. Bldg 8 - Area E2 roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**47. Bldg 8 - Area E2 roof system  
overview**



**48. Bldg 8 - Area E2 roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

49. Bldg 8 - Area E2 roof system overview



50. Bldg 8 - Area E2 roof system overview



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

51. Deficiency #2 - Debris on roof surface



52. Deficiency #2 - Debris on roof surface



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

53. Deficiency #3 - Open flashing



54. Deficiency #3 - Open flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

55. Deficiency #4 - Hole / puncture  
in membrane / felts



56. Deficiency #4 - Hole / puncture  
in membrane / felts



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**57. Deficiency #7 - Ponding water  
observed on roof surface**



**58. Deficiency #9 - Missing /  
deteriorated sealant at metal  
counter flashing**

**Deficiency #10 - Rust developing on  
metal component**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

59. Deficiency #9 - Missing /  
deteriorated sealant at metal  
counter flashing

Deficiency #10 - Rust developing on  
metal component



60. Deficiency #11 - Improper wall  
flashing detail - flashing membrane  
not properly terminated and counter  
flushed by metal Z-metal panel  
closure



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

61. Deficiency #11 - Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure



62. Deficiency #12 - Missing termination bar



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

63. Deficiency #12 - Missing termination bar



64. Deficiency #13 - Damaged / missing vertical metal panels



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**65. Deficiency #13 - Damaged /  
missing vertical metal panels**



**66. Deficiency #14 - Open lap in field  
membrane**



**9/3/2022**



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

67. Deficiency #14 - Open lap in field membrane



68. Deficiency #15 - Improper edge detail - insufficient fastening pattern & edge metal not properly stripped into roof system



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area D, E, D1 & E2**

**69. Deficiency #15 - Improper edge detail - insufficient fastening pattern & edge metal not properly stripped into roof system**



**70. Test Cut #7 (Area D): View of modified bitumen plies**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

71. Test Cut #7 (Area D): View of roof membrane removed exposing a concrete deck



72. Test Cut #7 (Area D): View of RCS repair



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

73. Test Cut #10 (Area E2): View of modified bitumen plies



74. Test Cut #10 (Area E2): View of roof membrane removed exposing a concrete deck



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area D, E, D1 & E2

75. Test Cut #10 (Area E2): View of  
RCS repair



9/3/2022

# Roof Area Information For:

Domino Sugar Facility

7412 N. Peters Street

Arabi, LA

## Roof Area - Bldg 8 - Area H

### Roof System Data

Area Name: Bldg 8 - Area H	Year Installed: N/D	Active Leaks: None Reported
Size Sq. Ft. (+/-): 8,205	Remaining Service Life (Years): 0-1 +/-	Leak History: Minor
Roof Elevation: 72' +/-	Average Roof System R Value: 0.34	Leak Sensitivity: Normal

Roofing Contractor:	Guarantee Info:	Roof System:
Company: Unknown	Guarantee (Y/N): Unknown	Roof System Type: Sprayed Foam
Contact: Unknown	Manufacturer: Unknown	Roof Membrane Type: Sprayed Foam (PUF) Roof System
Phone: Unknown	Guarantee Term: Unknown	Membrane Condition: Failed
	Guarantee Number: Unknown	Roof Surfacing Type: Granules
	Expiration Date: Unknown	Recovery System: Yes - See Roof Composition

Roof Deck and Support Structure:	Vapor Retarder:	Maintenance Items:
Deck Type: Structural Concrete	Vapor Retarder: No	Mechanical Damage: None Observed
Deck Thickness: 4 - 6 Inch +/-	Type: N/A	Chemical Exposure: None Observed
Roof Truss Type: Steel Bar Joist	Location: N/A	Roof Traffic: Yes - Service
Truss Height: 12"	Attachment: N/A	Debris: Yes - Roof Surface
Truss Span: Varies	Condition: N/A	
Truss Spacing: 5' o.c.	Relative Humidity: N/A	

Base Flashings:	Perimeter Types:	Penetrations:	Quantity:
Flashing Type: Modified	Gravel Stop Type: N/A	Soil Stacks: <input checked="" type="checkbox"/>	1
Height: 2" - 16" +/-	Gravel Stop Condition: N/A	Exhaust Units: <input type="checkbox"/>	0
Coated: No	Parapet Wall Type: Masonry / Metal	Standard Curbs: <input checked="" type="checkbox"/>	3
Cant Strip Type: N/D	Parapet Wall Condition: Fair	Pipe Supports: <input checked="" type="checkbox"/>	19
Condition: Poor	Wall Coping Type: EIFS	Pitch Pans: <input type="checkbox"/>	0
Securement: Spray Applied	Wall Coping Condition: N/A	Roof Hatch: <input type="checkbox"/>	0
	Wall Coping Size: N/A	Hot Stacks: <input type="checkbox"/>	0
	Metal Coping Material Type: N/A	Skylights: <input type="checkbox"/>	0
	Metal Coping Quantity: N/A	Smoke Hatch: <input type="checkbox"/>	0
	Expansion Joint Type: N/A	Other: <input checked="" type="checkbox"/>	8
	Expansion Joint Condition: N/A		

Drainage:	Item:	Size:	Material Type:	Quantity:	Condition:
Drainage: Fair - Poor	Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Slope: 1/8" - 1' +/-	Scuppers: <input checked="" type="checkbox"/>	5" x 11"	Aluminum	4	Fair
Ponding Water: No	Gutters: <input type="checkbox"/>	N/A	N/A	0	N/A
Drainage Comments: No ponding water observed during this inspection	Downspouts: <input checked="" type="checkbox"/>	6" x 6"	Aluminum	4	Fair

# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area H**

### **Asbestos Material Testing:**

#### **Performed:**

**Membrane:** No  
**Flashing:** No  
**Repairs:** No  
**Other:** No

#### **Results:**

**Membrane:** N/A  
**Flashing:** N/A  
**Repairs:** N/A  
**Other:** N/A

#### **Required:**

**Membrane:** Yes  
**Flashing:** Yes  
**Repairs:** Yes  
**Other:** Yes

### **Roof Moisture Survey:**

**Moisture Survey Completed:** Yes

**Results:** Positive

**Number of Anomalies:**

1

**% of Wet Roof Area:**

100.00%

**Total Sq. Ft. of Wet Roof Area:**

8205

Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Structural Concrete	4 - 6 Inch +/-	Poured	Fair at Test Cut
2	Organic Felt	3 Ply	Hot Asphalt	Poor
3	Gravel Surfacing	Varies	Hot Asphalt	Fair
4	Sprayed Polyurethane Foam (SPF)	Varies	Spray Applied	Poor
5	Granulated Acrylic Coating	Varies	Spray Applied	Poor

**Roof Condition Code:** Failed

**Recommendation:** Replacement

**Replacement Year:** 2023

**Replacement Cost (+/-):** \$425,000.00

**Deficiencies Repair Cost:** N/A

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Bldg 8 - Area H

The existing roof system is a spray polyurethane foam application with granulated acrylic coating installed over the original 3-ply asphalt BUR and a structural concrete deck. Drainage is facilitated by 4 wall scuppers with downspouts. No information pertaining to the date of installation, roof system manufacturer or any warranty that may be in effect was provided by project contacts for this roof area.

An infrared moisture survey was performed and the results of the survey were positive. One hundred (100) percent of the roof area was determined to be affected by moisture infiltration. No active interior roof leak locations were identified by RCS project contact.

The overall condition of this roof area is considered failed. Five (5) types of deficient conditions were

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area H**

observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered Failed, corrections to the noted deficiencies has been limited to open conditions that are directly related to active leak areas or conditions that we feel could develop into leak areas within the next 12 months. It should also be anticipated that additional repairs may be required to stop additional leak conditions that may develop prior to the roof system replacement being completed. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.



**Detailed Deficiency Listing For:**

**Domino Sugar Facility**

**7412 N. Peters Street - Arabi, LA**

**Roof Area - Bldg 8 - Area H**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
C -Critical  
S - Significant  
M - Minor  
MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
Required

**Inspection Date: 9/3/2022**

**Inspectors: Efren Villeda**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Penetrations through roof surface have not been flashed	2		
		Address condition by completion of recommended roof system replacement	Locations		
2	MN	Debris on roof surface	3		
		Address condition by completion of recommended roof system replacement	Locations		
20	MN	Deteriorated roof coating on PUF	1		
		Address condition by completion of recommended roof system replacement	Typical		
21	MN	Missing downspout	1		
		Address condition by completion of recommended roof system replacement	Location		
22	MN	Wet insulation / moisture entrapment	8,205		
		Address condition by completion of recommended roof system replacement	SqFt		

**Grand Total** N/A

**Priority Code Totals:**

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility  
Roof Area - Bldg 8 - Area H**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	15
<b><i>Test Cut Size</i></b>	Probe
<b><i>Troxler Reading</i></b>	N/A
<b><i>Infra-red Reading</i></b>	Positive
<b><i>Delmhorst Reading</i></b>	Wet
<b><i>Deck Condition</i></b>	N/D
<b><i>Vapor Retarder Condition</i></b>	N/A
<b><i>Insulation Condition</i></b>	Poor - Wet
<b><i>Membrane Condition</i></b>	Failed

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

1. Bldg 8 - Area H roof system overview



2. Bldg 8 - Area H roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area H**

**3. Bldg 8 - Area H roof system  
overview**



**4. Bldg 8 - Area H roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

5. Bldg 8 - Area H roof system overview



6. Bldg 8 - Area H roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area H**

**7. Bldg 8 - Area H roof system  
overview**



**8. Bldg 8 - Area H roof system  
overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area H**

**9. Bldg 8 - Area H roof system overview**



**10. Bldg 8 - Area H roof system overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

11. Bldg 8 - Area H roof system overview



12. Bldg 8 - Area H roof system overview



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

13. Bldg 8 - Area H roof system overview



14. Bldg 8 - Area H roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

15. Deficiency #1 - Penetrations through roof surface have not been flashed



16. Deficiency #1 - Penetrations through roof surface have not been flashed



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

17. Deficiency #2 - Debris on roof surface



18. Deficiency #2 - Debris on roof surface



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

19. Deficiency #20 - Deteriorated  
roof coating on PUF



20. Deficiency #20 - Deteriorated  
roof coating on PUF



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area H**

**21. Deficiency #22 - Wet insulation /  
moisture entrapment**

**Note: Image is overview of roof  
area; whole roof area is considered  
wet with entrapped moisture**



**22. Probe #15 (Area H) - Delmhorst  
moisture meter reading positive for  
moisture**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

23. Infrared image on Bldg 8 - Area H with suspect wet areas observed



24. Infrared image on Bldg 8 - Area H with suspect wet areas observed



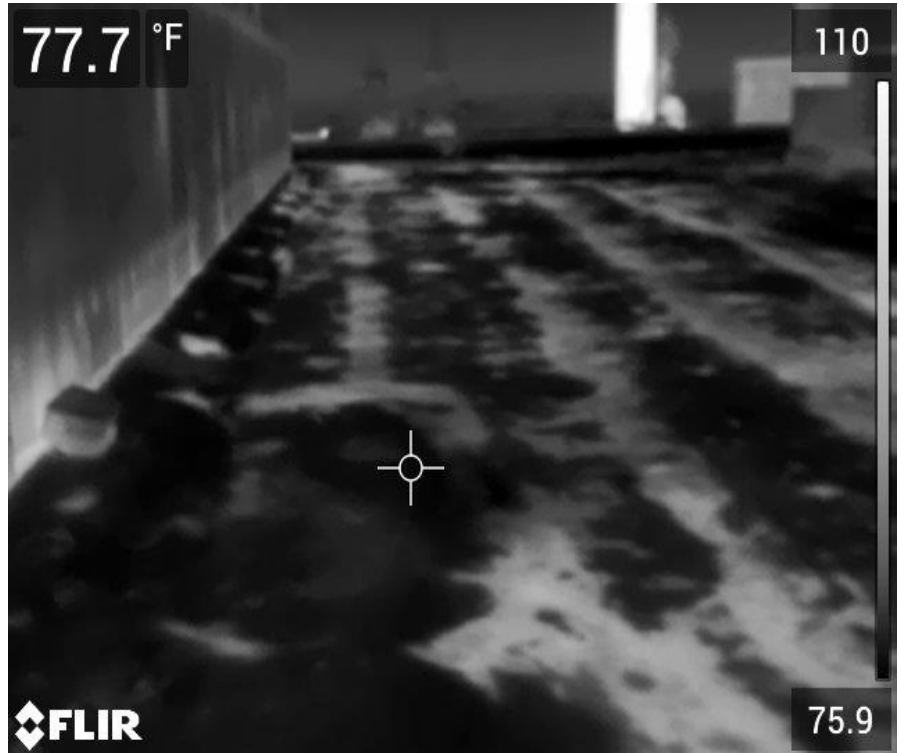
9/3/2022

# Photograph Documentation

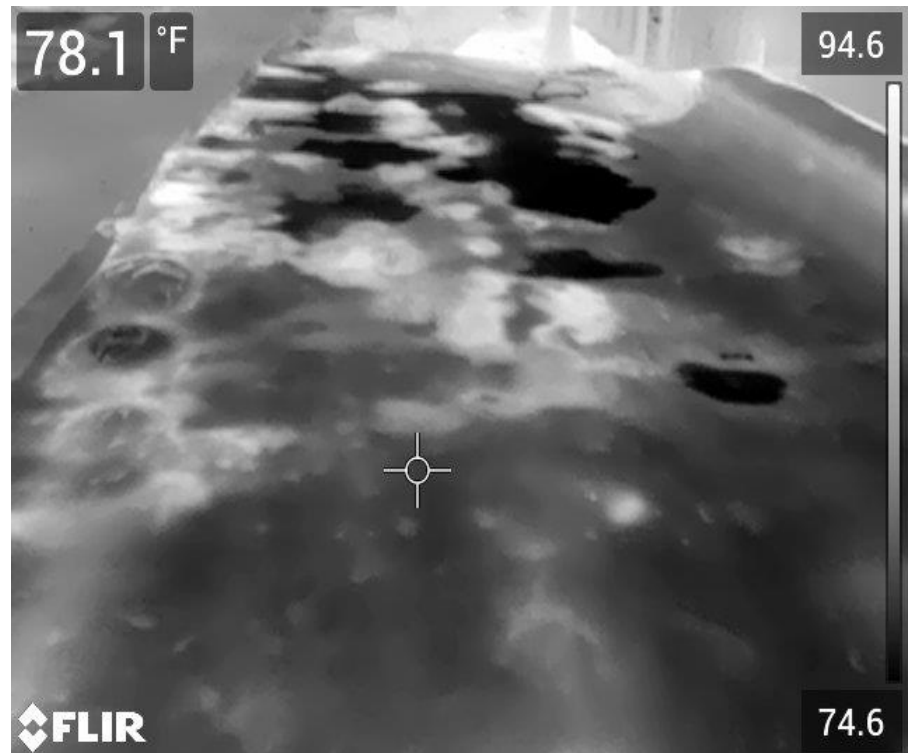
Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area H

25. Infrared image on Bldg 8 - Area H with suspect wet areas observed



26. Infrared image on Bldg 8 - Area H with suspect wet areas observed



9/3/2022

# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area I**

### **Roof System Data**

<b>Area Name:</b> Bldg 8 - Area I	<b>Year Installed:</b> 2020	<b>Active Leaks:</b> None Reported
<b>Size Sq. Ft. (+/-):</b> 5,715	<b>Remaining Service Life (Years):</b> 5-7 +/-	<b>Leak History:</b> Minor
<b>Roof Elevation:</b> 150' +/-	<b>Average Roof System R Value:</b> 0.72	<b>Leak Sensitivity:</b> Normal

#### **Roofing Contractor:**

**Company:** Unknown  
**Contact:** Unknown  
**Phone:** Unknown

#### **Guarantee Info:**

**Guarantee (Y/N):** Unknown  
**Manufacturer:** Siplast  
**Guarantee Term:** Unknown  
**Guarantee Number:** Unknown  
**Expiration Date:** Unknown

#### **Roof System:**

**Roof System Type:** Modified BUR  
**Roof Membrane Type:** Granular Surfaced Modified Bitumen  
**Membrane Condition:** Fair  
**Roof Surfacing Type:** Granules  
**Recovery System:** No

#### **Roof Deck and Support Structure:**

**Deck Type:** Structural Concrete  
**Deck Thickness:** 4 - 6 Inch +/-  
**Roof Truss Type:** Steel Bar Joist  
**Truss Height:** 12"  
**Truss Span:** Varies  
**Truss Spacing:** 5' o.c.

#### **Vapor Retarder:**

**Vapor Retarder:** No  
**Type:** N/A  
**Location:** N/A  
**Attachment:** N/A  
**Condition:** N/A  
**Relative Humidity:** N/A

#### **Maintenance Items:**

**Mechanical Damage:** None Observed  
**Chemical Exposure:** Yes - Grease  
**Roof Traffic:** Yes - Service  
**Debris:** None Observed

#### **Base Flashings:**

**Flashing Type:** Modified  
**Height:** 3" - 38" +/-  
**Coated:** No  
**Cant Strip Type:** N/D  
**Condition:** Fair  
**Securement:** Asphalt & Mechanical

#### **Counter Flashing:**

**Reglet Joint:**  **Surface Mount:**   
**Thru Wall:**  **Term Bar:**   
**CF Metal Type:** Aluminum

#### **Perimeter Types:**

**Gravel Stop Type:** N/A  
**Gravel Stop Condition:** N/A  
**Parapet Wall Type:** Masonry / Metal  
**Parapet Wall Condition:** Fair  
**Wall Coping Type:** EIFS  
**Wall Coping Condition:** N/A  
**Wall Coping Size:** N/A  
**Metal Coping Material Type:** N/A  
**Metal Coping Quantity:** N/A  
**Expansion Joint Type:** N/A  
**Expansion Joint Condition:** N/A

#### **Penetrations:**

#### **Quantity:**

<b>Soil Stacks:</b> <input checked="" type="checkbox"/>	<input type="text" value="1"/>
<b>Exhaust Units:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Standard Curbs:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Pipe Supports:</b> <input checked="" type="checkbox"/>	<input type="text" value="3"/>
<b>Pitch Pans:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Roof Hatch:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Hot Stacks:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Skylights:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Smoke Hatch:</b> <input type="checkbox"/>	<input type="text" value="0"/>
<b>Other:</b> <input type="checkbox"/>	<input type="text" value="0"/>

#### **Drainage:**

**Drainage:** Poor  
**Slope:** 1/4" - 1' +/-  
**Ponding Water:** No  
**Drainage Comments:** No ponding water observed during this inspection

#### **Item:**

#### **Size:**

#### **Material Type:**

#### **Quantity:**

#### **Condition:**

<b>Roof Drains:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Scuppers:</b> <input checked="" type="checkbox"/>	10" x 10"	Aluminum	3	Fair
<b>Gutters:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Downspouts:</b> <input checked="" type="checkbox"/>	6" x 6"	Aluminum	3	Fair



# Roof Area Information For:

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

## **Roof Area - Bldg 8 - Area I**

### **Asbestos Material Testing:**

#### **Performed:**

**Membrane:** No

**Flashing:** No

**Repairs:** No

**Other:** No

#### **Results:**

**Membrane:** N/A

**Flashing:** N/A

**Repairs:** N/A

**Other:** N/A

#### **Required:**

**Membrane:** Yes

**Flashing:** Yes

**Repairs:** Yes

**Other:** Yes

### **Roof Moisture Survey:**

**Moisture Survey Completed:** No

**Results:** N/A - Non-Insulated

**Number of Anomalies:**

N/A

**% of Wet Roof Area:**

N/A

**Total Sq. Ft. of Wet Roof Area:**

N/A

Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Structural Concrete	4 - 6 Inch +/-	Poured	Good at Test Cut
2	Fiberglass Felt	1 Ply	Adhered	Good
3	Smooth Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Fair
4	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Fair

**Roof Condition Code:** Fair

**Recommendation:** Repair

**Replacement Year:** 2028

**Replacement Cost (+/-):** \$257,250.00

**Deficiencies Repair Cost:** \$4,500.00

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Bldg 8 - Area I

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a structural concrete deck. Drainage is facilitated by 3 wall scuppers and 3 downspouts. The current roof assembly was reportedly installed in 2020 & manufactured by Siplast. RCS contact reported that to their knowledge, there is no active manufacturer warranty for the installed roof system.

No infrared moisture survey was performed on this roof area due to the roof being a non-insulated roof system. No active interior roof leak locations were identified by RCS project contact.

The overall condition of this roof area is Fair. Five (5) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine maintenance,

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Bldg 8 - Area I**

the Owner should realize an additional 5-7 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

**Detailed Deficiency Listing For:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**  
**Roof Area - Bldg 8 - Area I**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
 C - Critical  
 S - Significant  
 M - Minor  
 MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
 2 - Second Year Funding  
 3 - Third Year Funding  
 4 - Fourth Year Funding  
 5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
 Required

Inspection Date: 9/3/2022

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
3	M	Open flashing	2	\$225.00	\$450.00
		Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	Locations		
4	M	Hole / puncture in membrane / felts	2	\$275.00	\$550.00
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric	Locations		
11	M	Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure	18	\$175.00	\$3,150.00
		Remove bottom course of fasteners from vertical panel assembly. Where required, install additional mechanical flashing termination (stagger termination fasteners 8" o.c. max). Install Z-metal panel closure below panel assembly and resecure the bottom fastening course of the panel assembly through the subsequent Z-metal panel closure.	LnFt		
18	M	Damaged / missing metal coping	10	\$35.00	\$350.00
		Replace damaged metal coping with new to match existing style, size and material. Attach in accordance with SMACNA	LnFt		
19	MN	Chemical contamination on roof membrane	1		
		Monitor location for membrane degradation and address only as required to maintain a watertight condition	Location		

**Detailed Deficiency Listing For:**

**Domino Sugar Facility**

**7412 N. Peters Street - Arabi, LA**

**Roof Area - Bldg 8 - Area I**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
C -Critical  
S - Significant  
M - Minor  
MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
Required

**Inspection Date: 9/3/2022**

**Inspectors: Efren Villeda**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		

**Grand Total** **\$4,500.00**

**Priority Code Totals:**

**Minor** **\$4,500.00**

**TEST CUT / PROBE INFORMATION FOR:**

**Domino Sugar Facility**

**Roof Area - Bldg 8 - Area I**

**Inspection Date: 9/3/2022**

<b><i>TEST CUT / PROBE NUMBER</i></b>	<b>13</b>	<b>14</b>
<b><i>Test Cut Size</i></b>	6" x 6"	6" x 6"
<b><i>Troxler Reading</i></b>	N/A	N/A
<b><i>Infra-red Reading</i></b>	N/A	N/A
<b><i>Delmhorst Reading</i></b>	Dry	Dry
<b><i>Deck Condition</i></b>	Good	Good
<b><i>Vapor Retarder Condition</i></b>	N/A	N/A
<b><i>Insulation Condition</i></b>	Good	Good
<b><i>Membrane Condition</i></b>	Fair	Fair

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area I**

**1. Bldg 8 - Area I roof system  
overview**



**2. Bldg 8 - Area I roof system  
overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

3. Bldg 8 - Area I roof system overview



4. Bldg 8 - Area I roof system overview



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area I**

**5. Bldg 8 - Area I roof system  
overview**



**6. Bldg 8 - Area I roof system  
overview**



**9/3/2022**



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

7. Bldg 8 - Area I roof system overview



8. Bldg 8 - Area I roof system overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

9. Deficiency #3 - Open flashing



10. Deficiency #3 - Open flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

11. Deficiency #4 - Hole / puncture  
in membrane / felts



12. Deficiency #11 - Wall flashing  
membrane open - incomplete  
flashing detail



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

13. Deficiency #11 - Wall flashing membrane open - incomplete flashing detail



14. Deficiency #18 - Damaged / missing metal coping



9/3/2022

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Bldg 8 - Area I**

**15. Deficiency #18 - Damaged /  
missing metal coping**



**16. Deficiency #19 - Chemical  
contamination on roof membrane**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

17. Deficiency #19 - Chemical  
contamination on roof membrane



18. Test Cut #13 (Area I): View of  
modified bitumen plies



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

19. Test Cut #13 (Area I): View of roof membrane removed exposing a structural concrete roof deck



20. Test Cut #13 (Area I): View of RCS repair



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

21. Test Cut #14 (Area I): View of modified bitumen plies



22. Test Cut #14 (Area I): View of roof membrane removed exposing a structural concrete roof deck



9/3/2022



# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Bldg 8 - Area I

23. Test Cut #14 (Area I): View of  
RCS repair



9/3/2022

# Roof Area Information For:

Domino Sugar Facility

7412 N. Peters Street

Arabi, LA

## Roof Area - Truck Loading - Area A, B & C

### Roof System Data

<b>Area Name:</b> Truck Loading - Area A, B & C	<b>Year Installed:</b> 2022	<b>Active Leaks:</b> None Reported
<b>Size Sq. Ft. (+/-):</b> 2,189	<b>Remaining Service Life (Years):</b> 17-19 +/-	<b>Leak History:</b> Unknown
<b>Roof Elevation:</b> 40' - 60' +/-	<b>Average Roof System R Value:</b> N/D	<b>Leak Sensitivity:</b> Normal

#### Roofing Contractor:

**Company:** Unknown  
**Contact:** Unknown  
**Phone:** Unknown

#### Guarantee Info:

**Guarantee (Y/N):** Unknown  
**Manufacturer:** Unknown  
**Guarantee Term:** Unknown  
**Guarantee Number:** Unknown  
**Expiration Date:** Unknown

#### Roof System:

**Roof System Type:** Modified BUR  
**Roof Membrane Type:** Granular Surfaced Modified Bitumen  
**Membrane Condition:** Good  
**Roof Surfacing Type:** Granules  
**Recovery System:** No

#### Roof Deck and Support Structure:

**Deck Type:** Painted Metal  
**Deck Thickness:** 22 Gauge +/-  
**Roof Truss Type:** Steel I-Beam  
**Truss Height:** 10"  
**Truss Span:** Varies  
**Truss Spacing:** 5' o.c.

#### Vapor Retarder:

**Vapor Retarder:** N/D  
**Type:** N/D  
**Location:** N/D  
**Attachment:** N/D  
**Condition:** N/D  
**Relative Humidity:** N/D

#### Maintenance Items:

**Mechanical Damage:** None Observed  
**Chemical Exposure:** None Observed  
**Roof Traffic:** Yes - Service  
**Debris:** Yes - Roof Surface

#### Base Flashings:

**Flashing Type:** Modified  
**Height:** 4" - 5" +/-  
**Coated:** No  
**Cant Strip Type:** N/D  
**Condition:** Good  
**Securement:** Asphalt & Mechanical

#### Counter Flashing:

**Reglet Joint:**  **Surface Mount:**   
**Thru Wall:**  **Term Bar:**   
**CF Metal Type:** Pre-Finished Steel

#### Perimeter Types:

**Gravel Stop Type:** Pre-Finished Steel  
**Gravel Stop Condition:** Fair  
**Parapet Wall Type:** Metal  
**Parapet Wall Condition:** Good  
**Wall Coping Type:** N/A  
**Wall Coping Condition:** N/A  
**Wall Coping Size:** N/A  
**Metal Coping Material Type:** N/A  
**Metal Coping Quantity:** N/A  
**Expansion Joint Type:** N/A  
**Expansion Joint Condition:** N/A

#### Penetrations:

#### Quantity:

<b>Soil Stacks:</b> <input type="checkbox"/>	0
<b>Exhaust Units:</b> <input type="checkbox"/>	0
<b>Standard Curbs:</b> <input type="checkbox"/>	0
<b>Pipe Supports:</b> <input type="checkbox"/>	0
<b>Pitch Pans:</b> <input type="checkbox"/>	0
<b>Roof Hatch:</b> <input type="checkbox"/>	0
<b>Hot Stacks:</b> <input type="checkbox"/>	0
<b>Skylights:</b> <input type="checkbox"/>	0
<b>Smoke Hatch:</b> <input type="checkbox"/>	0
<b>Other:</b> <input type="checkbox"/>	0

#### Drainage:

**Drainage:** Good  
**Slope:** 1/4" - 1' +/-  
**Ponding Water:** No  
**Drainage Comments:** No ponding water observed during this inspection

#### Item:

#### Size:

#### Material Type:

#### Quantity:

#### Condition:

<b>Roof Drains:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Scuppers:</b> <input type="checkbox"/>	N/A	N/A	0	N/A
<b>Gutters:</b> <input checked="" type="checkbox"/>	5" x 5"	Pre-Finished Steel	77 LF	Good
<b>Downspouts:</b> <input checked="" type="checkbox"/>	4" x 6"	Pre-Finished Steel	3	Good

# Roof Area Information For:

**Domino Sugar Facility  
7412 N. Peters Street  
Arabi, LA**

## **Roof Area - Truck Loading - Area A, B & C**

### **Asbestos Material Testing:**

#### **Performed:**

**Membrane:** No  
**Flashing:** No  
**Repairs:** No  
**Other:** No

#### **Results:**

**Membrane:** N/A  
**Flashing:** N/A  
**Repairs:** N/A  
**Other:** N/A

#### **Required:**

**Membrane:** No  
**Flashing:** No  
**Repairs:** No  
**Other:** No

### **Roof Moisture Survey:**

**Moisture Survey Completed:** No

**Results:** N/A - Not In Contract

**Number of Anomalies:**

N/A

**% of Wet Roof Area:**

N/A

**Total Sq. Ft. of Wet Roof Area:**

N/A

Sq. Ft.

### **Roof System Composition**

<b>Layer No</b>	<b>Layer Type</b>	<b>Thickness</b>	<b>Attachment</b>	<b>Condition</b>
1	Painted Metal	22 Gauge +/-	Spot Welded	Good - (As observed at interior)
2	Suspect High Thermal Insulation	N/D	Mechanical	Not Determined
3	Suspect Fiberglass Felt	N/D	Not Determined	Not Determined
4	SBS Granular Surfaced Modified Bitumen Membrane	1 Ply	Cold Process Adhesive	Good

**Roof Condition Code:** Good

**Recommendation:** Repair

**Replacement Year:** 2040

**Replacement Cost (+/-):** \$98,500.00

**Deficiencies Repair Cost:** \$925.00

#### **Budget Notes:**

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

### **Roof Area Comments:**

Truck Loading - Area A, B & C is occupied by New Truck Loading Bldg.

The existing roof system is a granular surfaced modified bitumen built-up roof (BUR) assembly installed over a painted metal deck. Drainage is facilitated by 77 LF of gutters and 3 downspouts. The current roof assembly was installed in 2022. No further information pertaining to installing contractor, roof system manufacturer, or warranty status was provided by project contacts.

No moisture survey was performed on these roof areas due to it not being part of our contract for this building. No active interior roof leak locations were identified by RCS project contact.

The overall condition of these roof areas is Good. Two (2) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine

## **Roof Area Information For:**

**Domino Sugar Facility**

**7412 N. Peters Street**

**Arabi, LA**

### **Roof Area - Truck Loading - Area A, B & C**

maintenance, the Owner should realize an additional 8-10 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing roof system being removed down to the structural decking and the installation of new double layer of polyisocyanurate insulation that provides an R-Value to meet current energy code requirements and a two (2) ply modified bitumen roof system that includes a manufacturer 15 or 20 year watertight warranty.

**Detailed Deficiency Listing For:**

**Domino Sugar Facility**

**7412 N. Peters Street - Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**Deficiency Priority Codes:**

**Current Year Priorities**

E - Emergency  
C -Critical  
S - Significant  
M - Minor  
MN - Monitor

**Future Year Maintenance**

1 - First Year Funding  
2 - Second Year Funding  
3 - Third Year Funding  
4 - Fourth Year Funding  
5 - Fifth Year Funding

**N/A - Not Applicable**

No Correction Action  
Required

**Inspection Date: 9/3/2022**

**Inspectors: Efren Villeda**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
2	M	Debris on roof surface	1	\$25.00	\$25.00
		Remove and properly dispose of all debris	Location		
3	M	Open flashing	4	\$225.00	\$900.00
		Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	Locations		

**Grand Total** **\$925.00**

**Priority Code Totals:**

**Minor** **\$925.00**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Truck Loading - Area A, B & C

1. Building exterior elevation  
overview



2. Building exterior elevation  
overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Truck Loading - Area A, B & C

3. Building exterior elevation overview



4. Building exterior elevation overview



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Truck Loading - Area A, B & C

5. View of underside of roof deck at building interior



6. View of underside of roof deck at building interior



9/3/2022



# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**7. Truck Loading - Area A roof  
system overview**



**8. Truck Loading - Area A roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**9. Truck Loading - Area A roof  
system overview**



**10. Truck Loading - Area A roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**11. Truck Loading - Area A roof  
system overview**



**12. Truck Loading - Area A roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**13. Truck Loading - Area A roof  
system overview**



**14. Truck Loading - Area A roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**15. Truck Loading - Area B roof  
system overview**



**16. Truck Loading - Area B roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**17. Truck Loading - Area B roof  
system overview**



**18. Truck Loading - Area B roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**19. Truck Loading - Area B roof  
system overview**



**20. Truck Loading - Area B roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**21. Truck Loading - Area B roof  
system overview**



**22. Truck Loading - Area B roof  
system overview**



**9/3/2022**



# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**23. Truck Loading - Area C roof  
system overview**



**24. Truck Loading - Area C roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**25. Truck Loading - Area C roof  
system overview**



**26. Truck Loading - Area C roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**27. Truck Loading - Area C roof  
system overview**



**28. Truck Loading - Area C roof  
system overview**



**9/3/2022**

# Photograph Documentation

**Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA**

**Roof Area - Truck Loading - Area A, B & C**

**29. Truck Loading - Area C roof  
system overview**



**30. Truck Loading - Area C roof  
system overview**



**9/3/2022**

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Truck Loading - Area A, B & C

31. Deficiency #2 - Debris on roof surface



32. Deficiency #3 - Open flashing



9/3/2022

# Photograph Documentation

Domino Sugar Facility - 7412 N. Peters Street  
Arabi, LA

Roof Area - Truck Loading - Area A, B & C

33. Deficiency #3 - Open flashing



9/3/2022

**Domino Sugar Refinery**

**Daniel Nguyen**

**Tel: (504) 278-5171**

**daniel.nguyen@asr-group.com**

**Contractor Name:** \_\_\_\_\_

**Office:** \_\_\_\_\_

**Cell:** \_\_\_\_\_

**E-Mail** \_\_\_\_\_

Please complete the bid form in full providing a price for each item listed and submit your bid via email to the facility manager. Please contact RCS with any questions you may have.

It is the contractor's responsibility to visit the project site prior to submitting their bid to fully inform themselves as to the location and overall quantity of work required. By submitting your bid, it shall be expected that all repairs shall be completed as outlined below and at the locations indicated on the roof plan drawings. All work must be completed to the satisfaction of the Owner, according to roof repair standards within the industry and with compatible roofing materials. Prior to final payment being made.

Note: The deficient condition numbering system listed below corresponds to the deficiency numbers used on the roof plan drawings for those items bids are being requested for.

**Roof Repair Bid Form:**

**Domino Sugar Facility**

**7412 N. Peters Street - Arabi, LA**

**Bldg 8 - Area A**

<b>NUMBER</b>	<b>PRIORITY CODE</b>	<b>DEFICIENCY DESCRIPTION</b> <b>DEFICIENCY SOLUTION</b>	<b>QUANTITY</b> <b>UNITS</b>	<b>PROPOSED REPAIR COST</b>
2	M	Debris on roof surface Address at time of roof replacement	3 Locations	\$
3	M	Open flashing Repair with a three (3) course application of flashing grade roof cement and reinforcing fabric	2 Locations	\$
4	M	Hole / puncture in membrane / felts Repair with a five (5) course application of flashing grade roof cement and reinforcing fabric	1 Location	\$





**Roof Repair Bid Form:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**

2	M	<p>Debris on roof surface</p> <hr/> <p>Remove and properly dispose of all debris</p>	<p><u>1</u> Locations</p>	\$
3	M	<p>Open flashing</p> <hr/> <p>Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric</p>	<p><u>13</u> Locations</p>	\$
4	M	<p>Hole / puncture in membrane / felts</p> <hr/> <p>Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric</p>	<p><u>2</u> Locations</p>	\$
11	M	<p>Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure</p> <hr/> <p>Remove bottom course of fasteners from vertical panel assembly. Where required, install additional mechanical flashing termination (stagger termination fasteners 8" o.c. max). Install Z-metal panel closure below panel assembly and resecure the bottom fastening course of the panel assembly through the subsequent Z-metal panel closure.</p>	<p><u>124</u> LnFt</p>	\$
14	M	<p>Open lap in field membrane</p> <hr/> <p>Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric</p>	<p><u>1</u> LnFt</p>	\$
17	M	<p>Improperly fabricated &amp; installed fascia metal - as fabricated and installed perimeter edge does not meet ANSI/SPRI/FM4435 ES-1 wind design standard for edge systems used with low slope roofing systems</p> <hr/> <p>Provide and install a new metal fascia system to comply with ANSI/SPRI/FM4435 ES-1 or as provided by an ANSI approved fabricator. Materials for new metal fascia shall be .050 aluminum with a Kynar (or approved equal) finish. Finish shall be minimum 70% Kynar fluorocarbon coating. Color shall be selected by the Owner from manufacturer's full range of colors.</p>	<p><u>62</u> LnFt</p>	\$

**Bldg 8 - Area D, E, D1 & E2**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION <hr/> DEFICIENCY SOLUTION	QUANTITY <hr/> UNITS	PROPOSED REPAIR COST
2	M	<p>Debris on roof surface</p> <hr/> <p>Remove and properly dispose of all debris</p>	<p><u>6</u> Locations</p>	\$

**Roof Repair Bid Form:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**

3	M	Open flashing	<u>27</u> Locations	\$
		Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric		
4	M	Hole / puncture in membrane / felts	<u>2</u> Locations	\$
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric		
11	M	Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure	<u>112</u> LnFt	\$
		Remove bottom course of fasteners from vertical panel assembly. Where required, install additional mechanical flashing termination (stagger termination fasteners 8" o.c. max). Install Z-metal panel closure below panel assembly and resecure the bottom fastening course of the panel assembly through the subsequent Z-metal panel closure.		
13	M	Damaged / missing vertical metal panels	<u>2</u> Locations	\$
		Repair existing panels if feasible & cost effective - replace to match existing vertical building panels in size and configuration - install to provide a closed / weather resistant condition		
14	M	Open lap in field membrane	<u>2</u> LnFt	\$
		Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric		
23	IM	Fire damaged membrane / system	<u>250</u> SqFt	\$
		Remove vertical wall panels at adjacent rising walls, remove and dispose of damaged metal counter flashing, vertical base flashing, and field membranes. Replace with new 2-ply SBS modified bitumen roofing installed in cold process adhesives, install metal counter flashing detail at interior rising walls to match existing and reinstall vertical wall panels secured with hex head fasteners compatible to the existing substrate type which include neoprene sealing / bearing washers		

**Bldg 8 - Area I**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	PROPOSED REPAIR COST
		DEFICIENCY SOLUTION	UNITS	

**Roof Repair Bid Form:**  
**Domino Sugar Facility**  
**7412 N. Peters Street - Arabi, LA**

3	M	<b>Open flashing</b> <hr/> Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	<u>2</u> Locations	\$
4	M	<b>Hole / puncture in membrane / felts</b> <hr/> Repair with a (5) five course application of flashing grade roof cement and reinforcing fabric	<u>2</u> Locations	\$
11	M	<b>Improper wall flashing detail - flashing membrane not properly terminated and counter flashed by metal Z-metal panel closure</b> <hr/> Remove bottom course of fasteners from vertical panel assembly. Where required, install additional mechanical flashing termination (stagger termination fasteners 8" o.c. max). Install Z-metal panel closure below panel assembly and resecure the bottom fastening course of the panel assembly through the subsequent Z-metal panel closure.	<u>18</u> LnFt	\$
18	M	<b>Damaged / missing metal coping</b> <hr/> Replace damaged metal coping with new to match existing style, size and material. Attach in accordance with SMACNA	<u>10</u> LnFt	\$

**Truck Loading - Area A, B & C**

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION <hr/> DEFICIENCY SOLUTION	QUANTITY <hr/> UNITS	PROPOSED REPAIR COST
2	M	<b>Debris on roof surface</b> <hr/> Remove and properly dispose of all debris	<u>1</u> Location	\$
3	M	<b>Open flashing</b> <hr/> Repair with a (3) three course application of flashing grade roof cement and reinforcing fabric	<u>4</u> Locations	\$

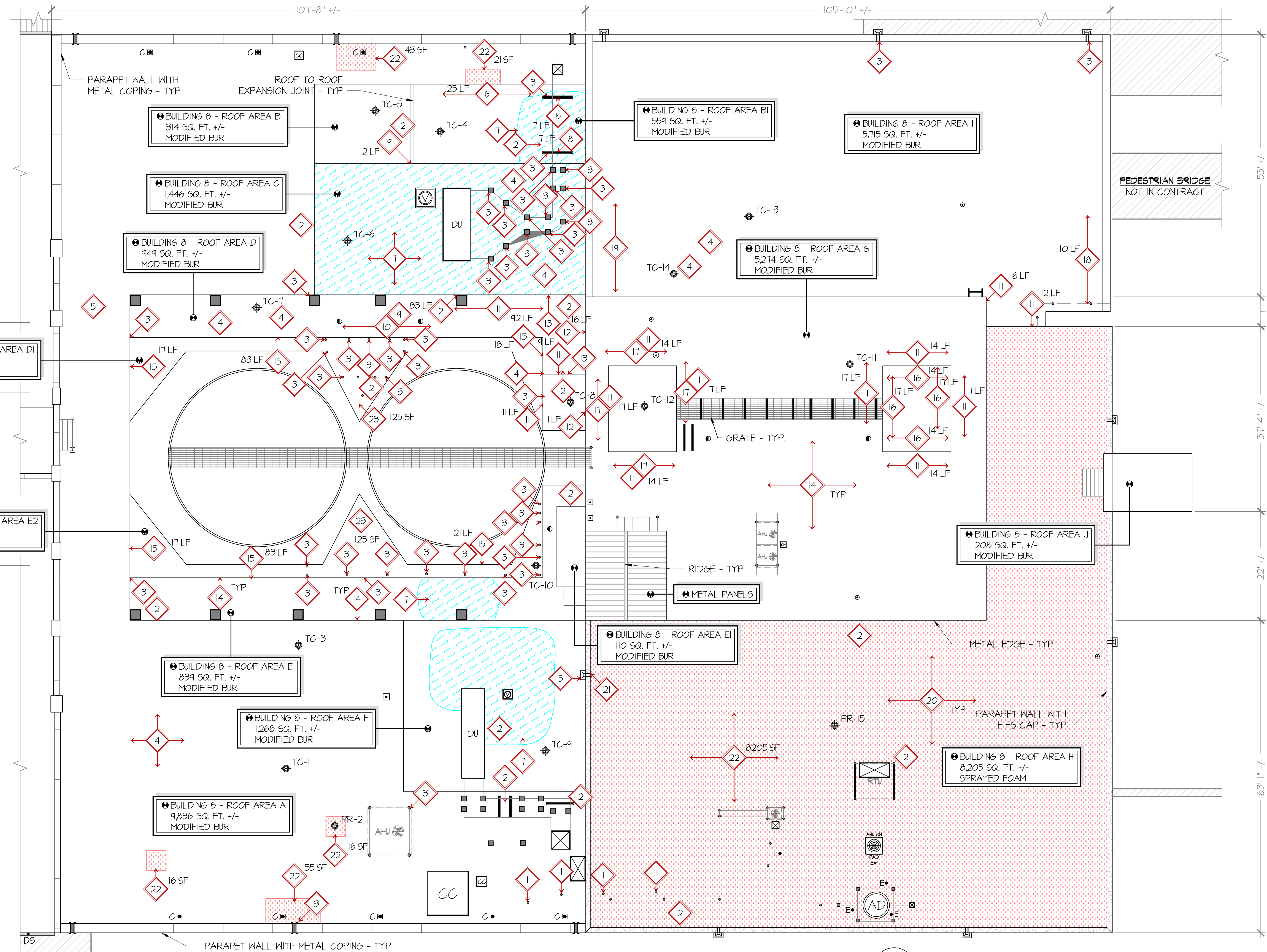
**Contractor Name:** \_\_\_\_\_

**Contact:** \_\_\_\_\_

**Phone:** \_\_\_\_\_

**Total Proposed Bid:** \$ \_\_\_\_\_

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### SYMBOL LEGEND

	ROOF HATCH
	CAPPED CURB
	STANDARD CURB
	CONDUIT CHASE
	SKYLIGHT
	AIR DUCT CURB
	EXHAUST UNIT
	HOOK VENT
	SQUARE CURB TO ROUND VENT
	SQUARE VENT
	ROUND CHIMNEY
	ACCESS LADDER
	SATELLITE
	BUILT-IN SLEEPER
	OVERFLOW SCUPPER
	PITCH POCKET
	ROUND SUPPORT PIPE
	SQUARE SUPPORT PIPE
	SCUPPER W/ CONDUCTOR HEAD & DS
	ROUND AIR DUCT
	ROOF DRAIN
	HOT PIPE
	VENT
	ROUND HOOK VENT
	PLUMBING VENT
	TIE-OFF ANCHOR
	CAPPED PIPE
	PIPE PENETRATION
	H <sub>2</sub> O SUPPLY
	CONDUIT
	ELECTRICAL CONDUIT
	LIGHTNING PROTECTION
	GAS LINE
	DOWNSPOUT
	DELMHORST PROBE LOCATION NO.
	TEST CUT LOCATION NO.
	SMALL AHU ON PROTECTIVE PAD
	AHU ON CURB
	AHU ON SUPPORT
	REPORTED LEAK LOCATION
	DEFICIENCY LOCATION / NO.

NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

I TOTAL PROJECT ROOF AREA - 38,168 SQ. FT. +/-  
AI SCALE: 3/32"=1'-0"

### DEFICIENCY LIST

1 PENETRATIONS THROUGH ROOF SURFACE HAVE NOT BEEN FLASHED	8 INCOMPLETE FLASHING AT BUILT-IN SLEEPER	14 OPEN LAP IN FIELD MEMBRANE	18 DAMAGED / MISSING METAL COPING
2 DEBRIS ON ROOF SURFACE	9 MISSING / DETERIORATED SEALANT AT METAL COUNTER FLASHING	15 IMPROPER EDGE DETAIL - INSUFFICIENT FASTENING PATTERN & EDGE METAL NOT PROPERLY STRIPPED INTO ROOF SYSTEM	19 CHEMICAL CONTAMINATION ON ROOF MEMBRANE
3 OPEN FLASHING	10 RUST DEVELOPING ON METAL COMPONENT	16 IMPROPER ROOF EDGE DETAIL - ADDITIONAL WOOD BLOCKING TO MATCH INSULATION HEIGHT REQUIRED AT ROOF AREA PERIMETER	20 DETERIORATED ROOF COATING ON PUF
4 HOLE / PUNCTURE IN MEMBRANE / FELTS	11 IMPROPER WALL FLASHING DETAIL - FLASHING MEMBRANE NOT PROPERLY TERMINATED AND COUNTER FLASHED BY METAL Z-METAL PANEL CLOSURE	17 IMPROPERLY FABRICATED & INSTALLED FASCIA METAL - AS FABRICATED AND INSTALLED PERIMETER EDGE DOES NOT MEET ANSI/SPRI/FM4435 E5-1 WIND DESIGN STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS	21 MISSING DOWNSPOUT
5 VEGETATIVE GROWTH ON ROOF SURFACE	12 MISSING TERMINATION BAR		22 WET INSULATION / MOISTURE ENTRAPMENT
6 DAMAGED METAL EDGE	13 DAMAGED / MISSING VERTICAL METAL PANELS		23 FIRE DAMAGED MEMBRANE / SYSTEM

SEE SHEET A2 FOR CROSS SECTIONS & CONTOUR LEGEND

### KEY PLAN - NOT TO SCALE

<b>FAILED</b>	<b>POOR</b>	<b>FAIR</b>	<b>GOOD</b>
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE

ROOF CONSULTING SERVICES, INC  
P.O. BOX 9747  
RICHMOND, VIRGINIA 23226

**ros**

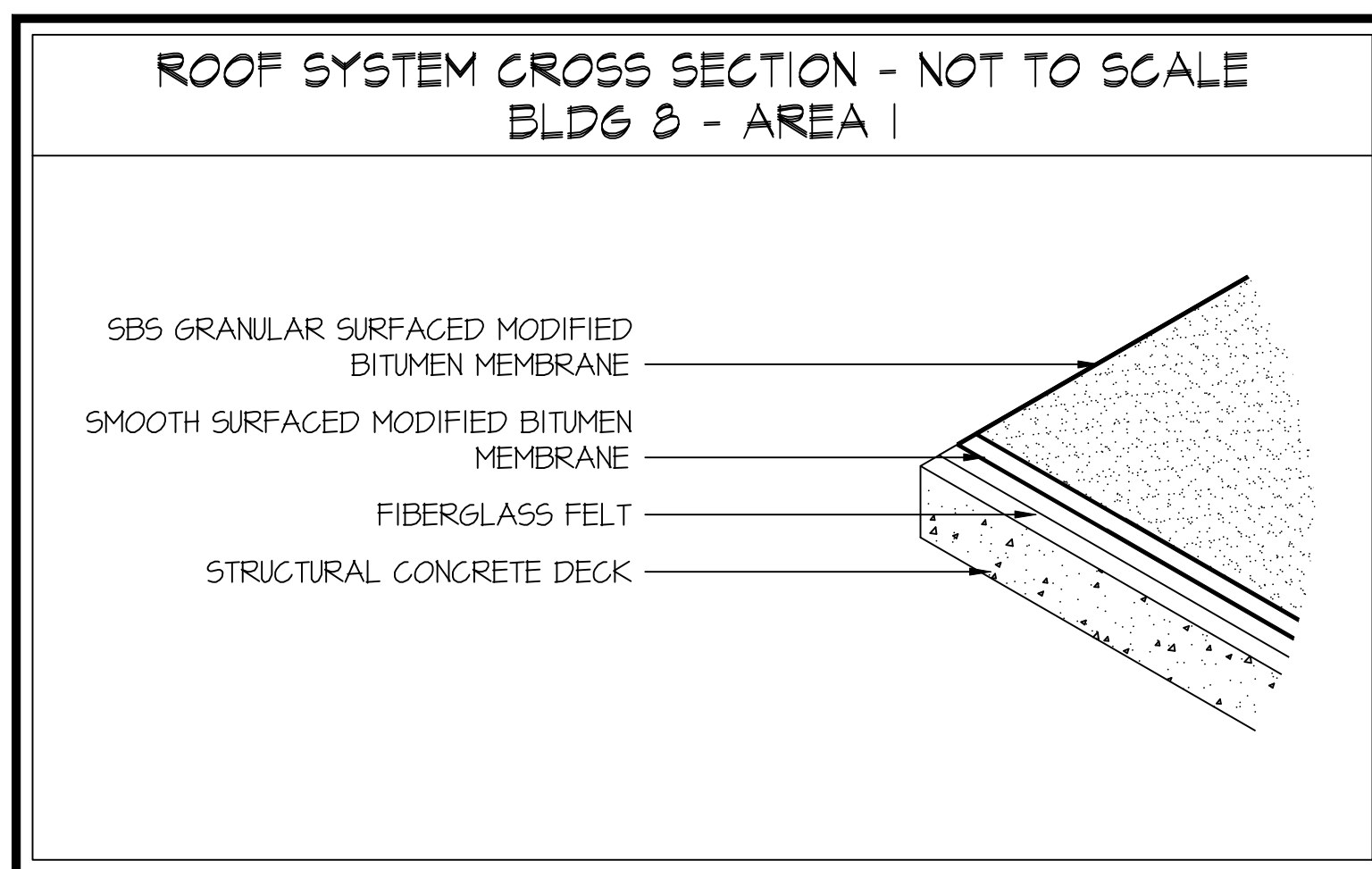
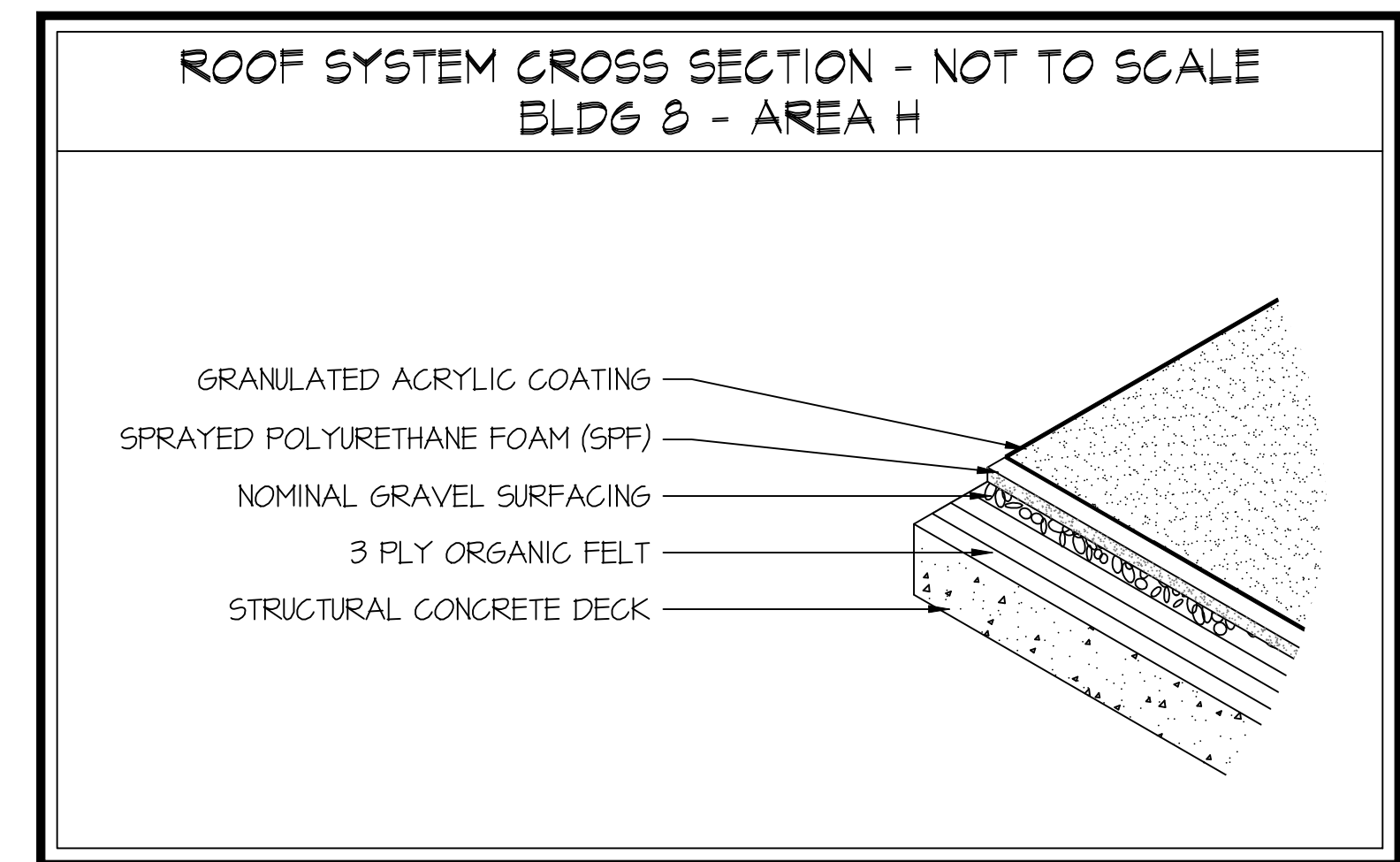
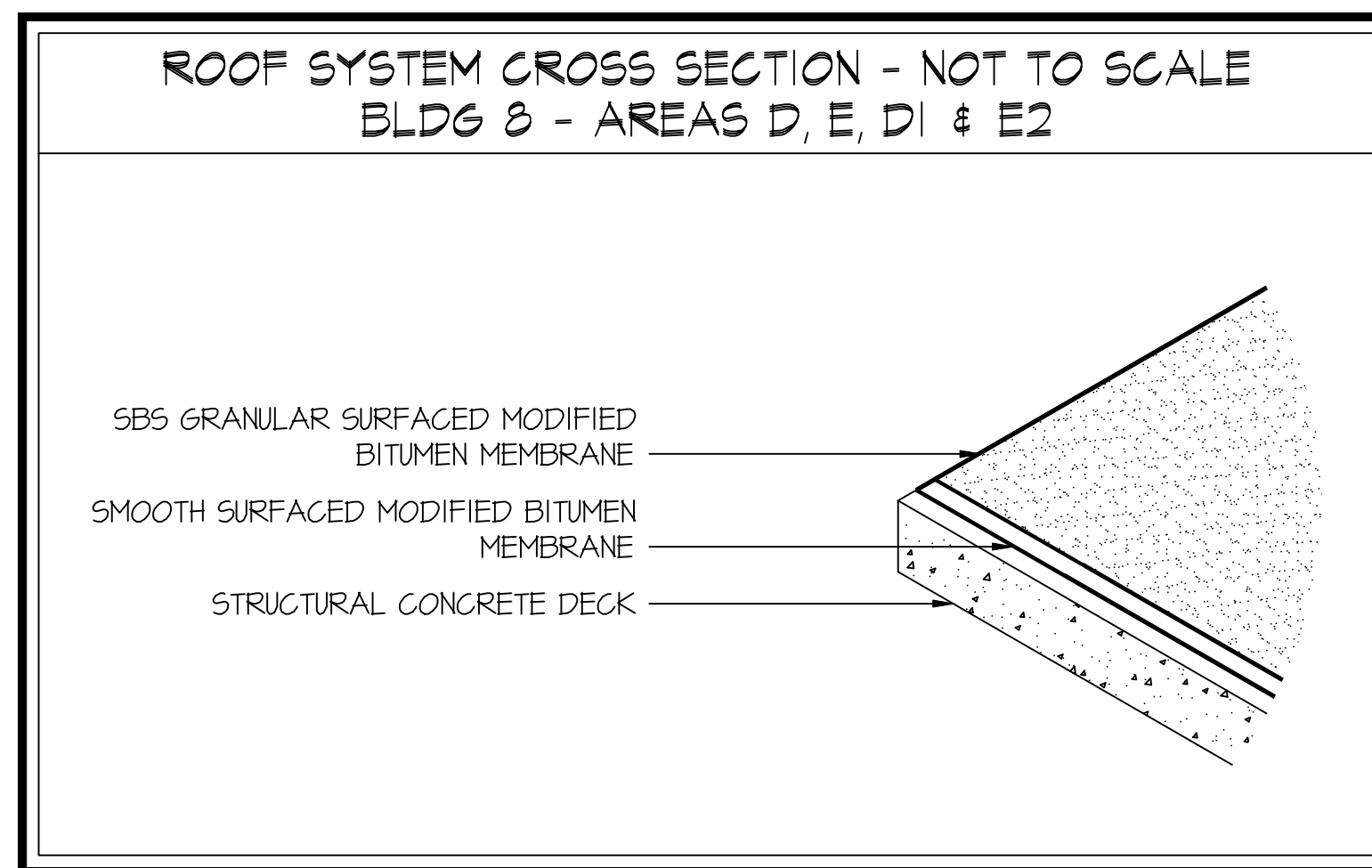
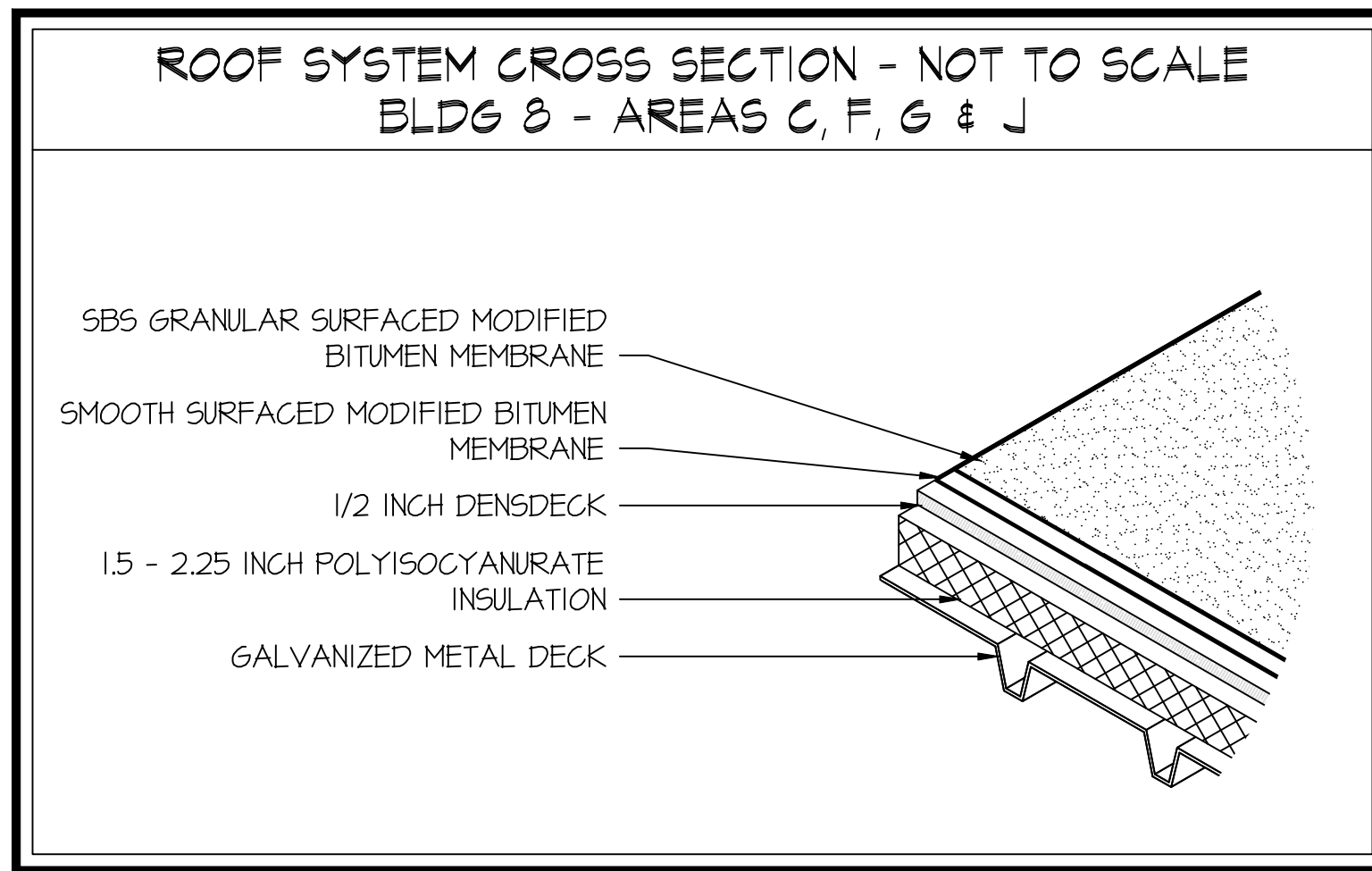
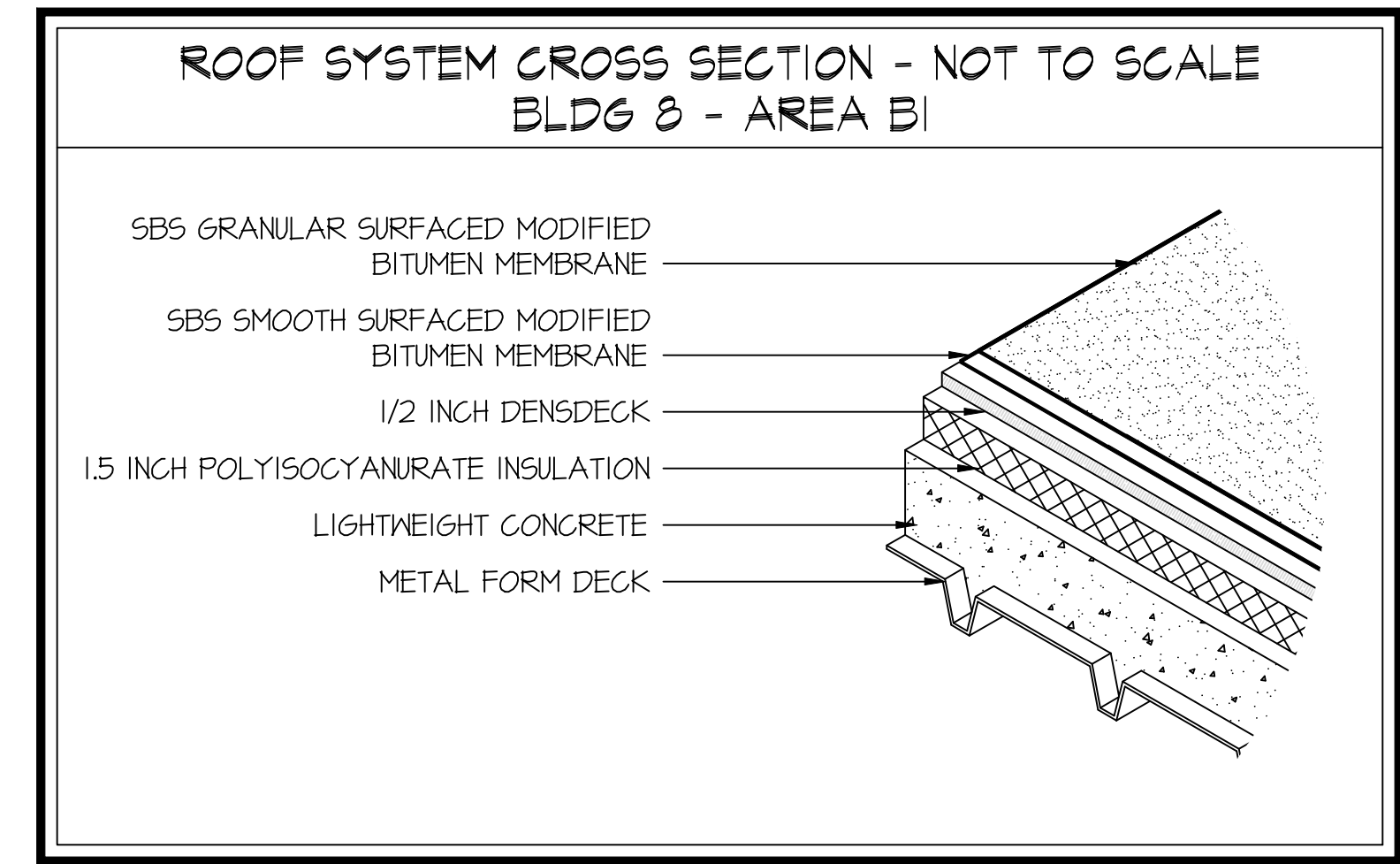
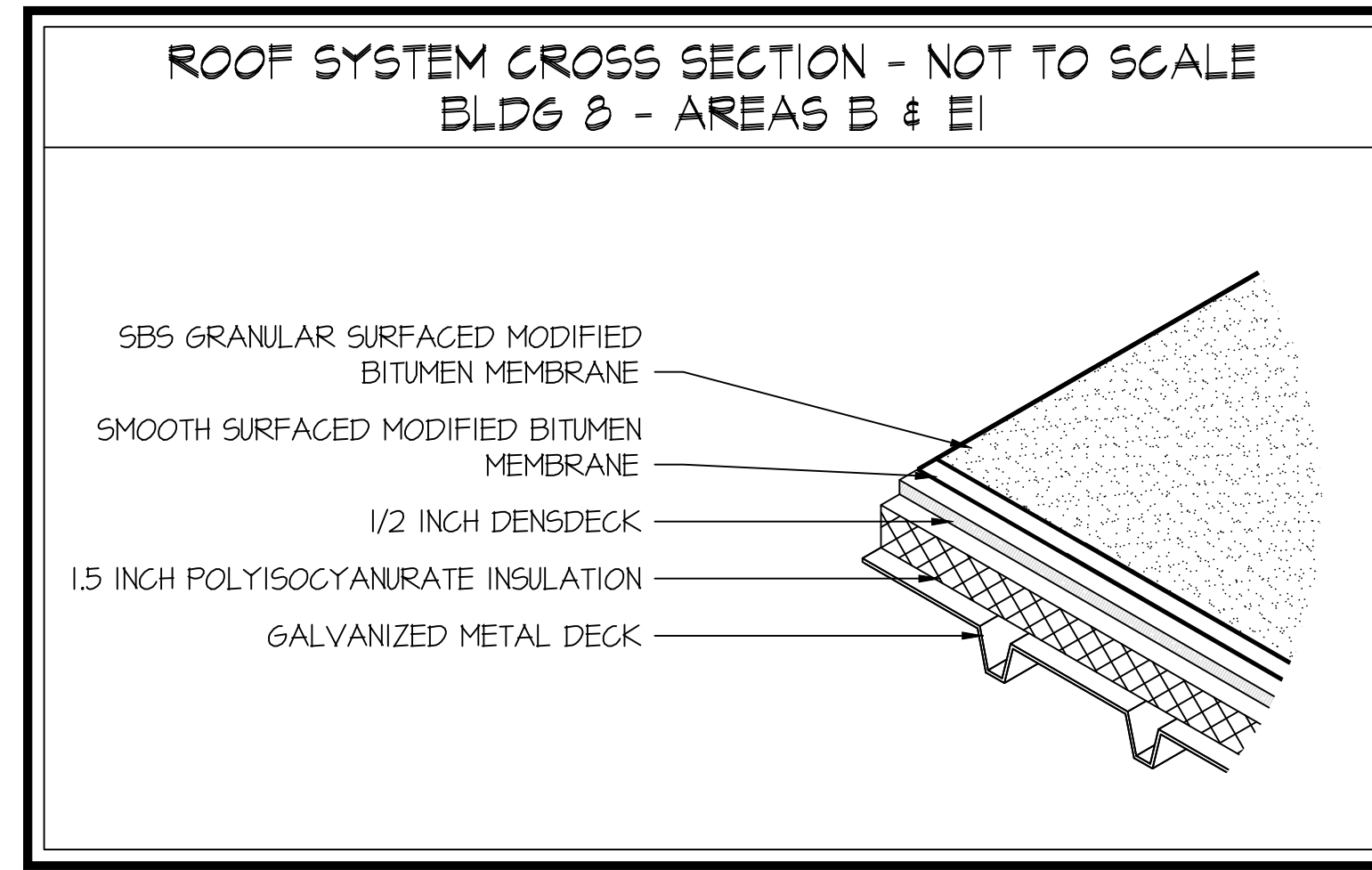
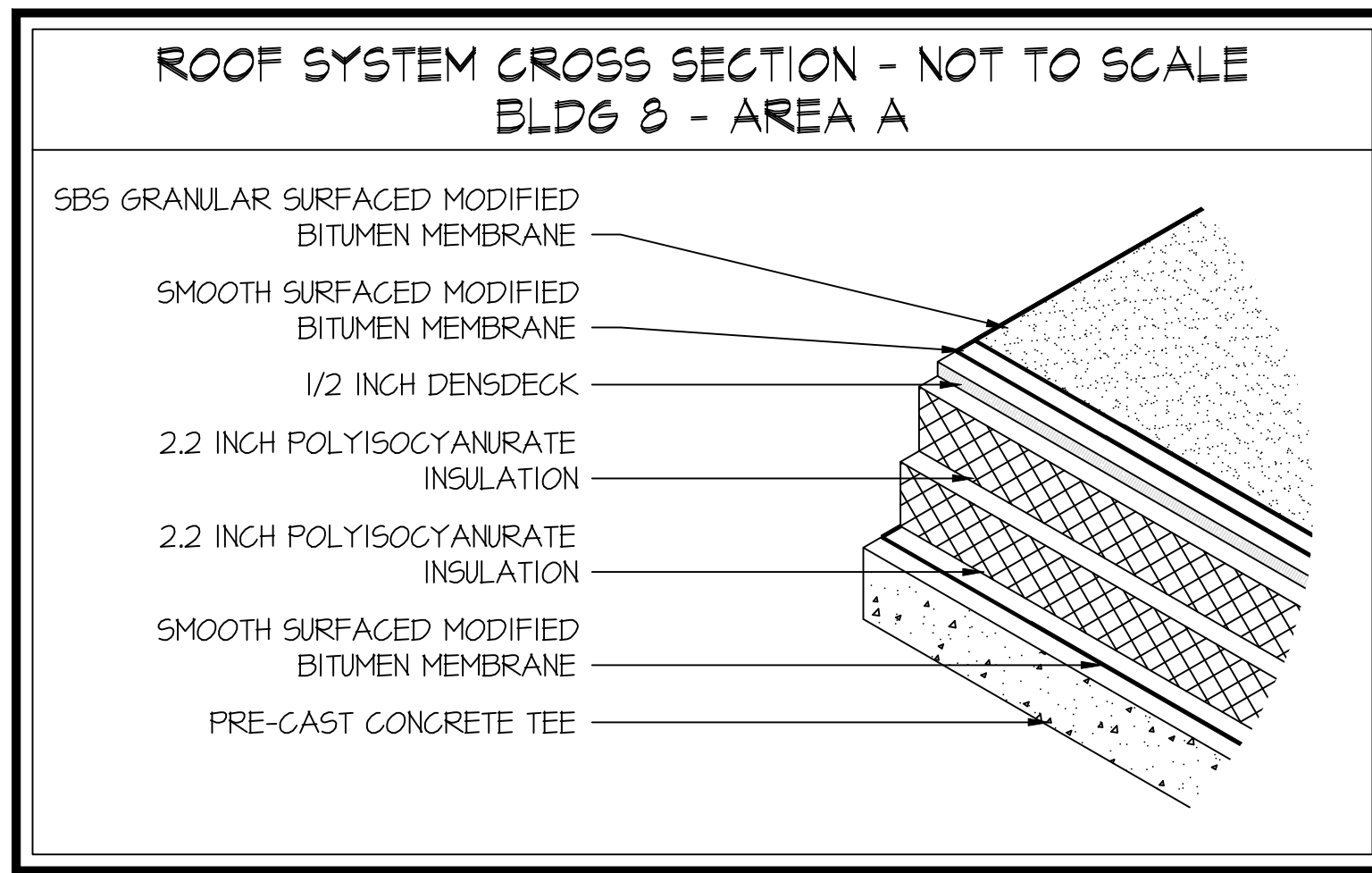
\* SURVEYS \* SPECIFICATIONS \* INSPECTIONS \*

(804) 515-0885

DATE: 09/03/2022  
DRAWN BY: C.W.T.  
SCALE: 3/32"=1'-0"  
CHECKED BY: W.D.S. JR.

INFRARED MOISTURE SURVEY  
CLIENT: DOMINO SUGAR REFINERY  
PROJECT: DOMINO SUGAR FACILITY  
ADDRESS: 7412 N. PETERS STREET  
ARABI, LA  
DRAWING: ROOF PLAN

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**CONTOUR LEGEND  
BLDG 8 - AREA A**

MOISTURE LEVEL	LEGEND	SQ. FT.	%
LEVEL I - DRY		9685 SQ. FT. +/-	98.46%
LEVEL II - WET		151 SQ. FT. +/-	1.54%

**CONTOUR LEGEND  
BLDG 8 - AREA B1**

NO ANOMALIES FOUND DURING MOISTURE SURVEY  
CONTOUR LEGEND NOT ESTABLISHED

**CONTOUR LEGEND  
BLDG 8 - AREAS D, E, D1 & E2**

NO ANOMALIES FOUND DURING MOISTURE SURVEY  
CONTOUR LEGEND NOT ESTABLISHED

**CONTOUR LEGEND  
BLDG 8 - AREAS B & E1**

NO ANOMALIES FOUND DURING MOISTURE SURVEY  
CONTOUR LEGEND NOT ESTABLISHED

**CONTOUR LEGEND  
BLDG 8 - AREAS C, F, G & J**

NO ANOMALIES FOUND DURING MOISTURE SURVEY  
CONTOUR LEGEND NOT ESTABLISHED

**CONTOUR LEGEND  
BLDG 8 - AREA H**

MOISTURE LEVEL	LEGEND	SQ. FT.	%
LEVEL I - DRY		0 SQ. FT. +/-	<1%
LEVEL II - WET		8205 SQ. FT. +/-	>99%

**CONTOUR LEGEND  
BLDG 8 - AREA I**

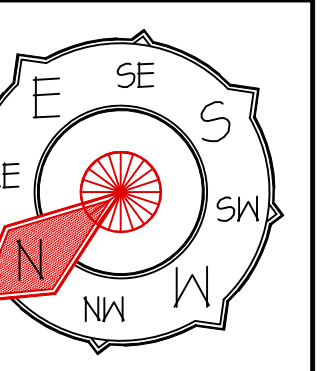
NON-INSULATED ROOF SYSTEM:  
NO CONTOUR LEGEND ESTABLISHED

**ROS** ROOF CONSULTING SERVICES, INC  
P.O. BOX 9747  
RICHMOND, VIRGINIA 23228  
\* SURVEYS \* SPECIFICATIONS \* INSPECTIONS \*

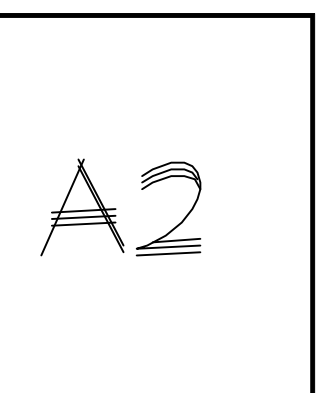
(804) 515-0885



DATE: 09/03/2022  
DRAWN BY: C.W.T.  
SCALE: N.A.  
CHECKED BY: W.D.S. JR.



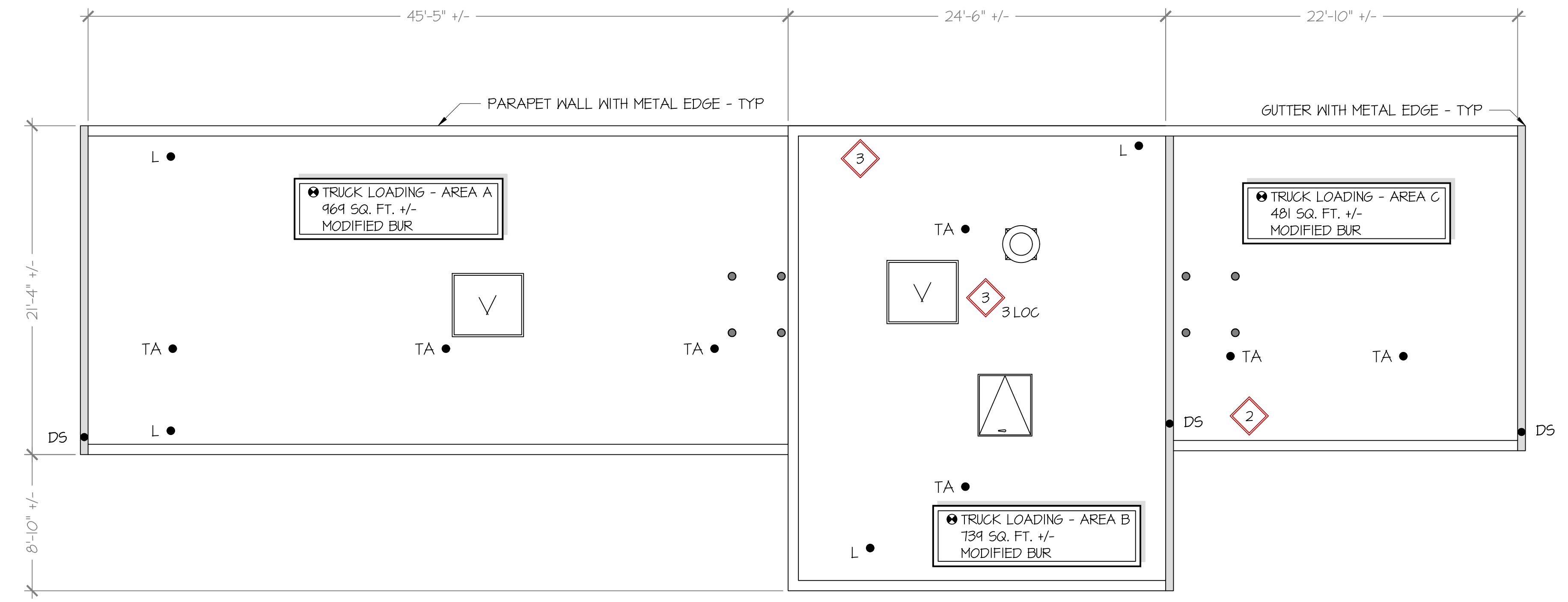
**INFRARED MOISTURE SURVEY**  
CLIENT: DOMINO SUGAR REFINERY  
PROJECT: DOMINO SUGAR FACILITY  
ADDRESS: 7412 N. PETERS STREET  
ARABI, LA  
DRAWING: ROOF PLAN



\\T640SERVER\RCSSERVER\DWG\CLIENT INSPECTION DRAWINGS BY CS\1396-086967-67109459.DWG

**DEFICIENCY LIST**

- 1 PENETRATIONS THROUGH ROOF SURFACE HAVE NOT BEEN FLASHED
- 2 DEBRIS ON ROOF SURFACE
- 3 OPEN FLASHING
- 4 HOLE / PUNCTURE IN MEMBRANE / FELTS
- 5 VEGETATIVE GROWTH ON ROOF SURFACE
- 6 DAMAGED METAL EDGE
- 7 PONDING WATER OBSERVED ON ROOF SURFACE
- 8 INCOMPLETE FLASHING AT BUILT-IN SLEEPER
- 9 MISSING / DETERIORATED SEALANT AT METAL COUNTER FLASHING
- 10 RUST DEVELOPING ON METAL COMPONENT
- 11 IMPROPER WALL FLASHING DETAIL - FLASHING MEMBRANE NOT PROPERLY TERMINATED AND COUNTER FLASHED BY METAL Z-METAL PANEL CLOSURE
- 12 MISSING TERMINATION BAR
- 13 DAMAGED / MISSING VERTICAL METAL PANELS
- 14 OPEN LAP IN FIELD MEMBRANE
- 15 IMPROPER EDGE DETAIL - INSUFFICIENT FASTENING PATTERN & EDGE METAL NOT PROPERLY STRIPPED INTO ROOF SYSTEM
- 16 IMPROPER ROOF EDGE DETAIL - ADDITIONAL WOOD BLOCKING TO MATCH INSULATION HEIGHT REQUIRED AT ROOF AREA PERIMETER
- 17 IMPROPERLY FABRICATED & INSTALLED FASCIA METAL - AS FABRICATED AND INSTALLED PERIMETER EDGE DOES NOT MEET ANSI/SPRI/FM4435 ES-1 WIND DESIGN STANDARD FOR EDGE SYSTEMS USED WITH LOW SLOPE ROOFING SYSTEMS
- 18 DAMAGED / MISSING METAL COPING
- 19 CHEMICAL CONTAMINATION ON ROOF MEMBRANE
- 20 DETERIORATED ROOF COATING ON PUF
- 21 MISSING DOWNSPOUT
- 22 WET INSULATION / MOISTURE ENTRAPMENT
- 23 FIRE DAMAGED MEMBRANE / SYSTEM



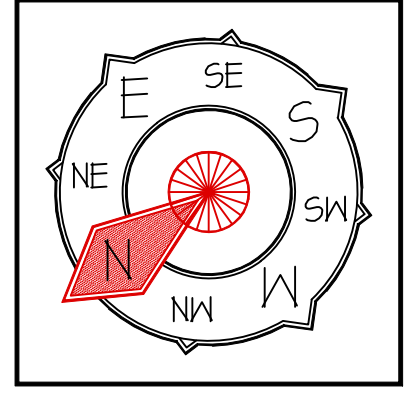
**SYMBOL LEGEND**

- ROOF HATCH
  - CAPPED CURB
  - STANDARD CURB
  - CONDUIT CHASE
  - SKYLIGHT
  - AIR DUCT CURB
  - EXHAUST UNIT
  - HOOK VENT
  - SQUARE CURB TO ROUND VENT
  - SQUARE VENT
  - ROUND CHIMNEY
  - ACCESS LADDER
  - SATELLITE
  - BUILT-IN SLEEPER
  - OVERFLOW SCUPPER
  - PITCH POCKET
  - ROUND SUPPORT PIPE
  - SQUARE SUPPORT PIPE
  - SCUPPER W/ CONDUCTOR HEAD & DS
  - ROUND AIR DUCT
  - ROOF DRAIN
  - HOT PIPE
  - VENT
  - ROUND HOOK VENT
  - PLUMBING VENT
  - TIE-OFF ANCHOR
  - CAPPED PIPE
  - PIPE PENETRATION
  - H<sub>2</sub>O SUPPLY
  - CONDUIT
  - ELECTRICAL CONDUIT
  - LIGHTNING PROTECTION
  - GAS LINE
  - DOWNSPOUT
  - DELMHORST PROBE LOCATION NO.
  - TEST CUT LOCATION NO.
  - SMALL AHU ON PROTECTIVE PAD
  - AHU ON CURB
  - AHU ON SUPPORT
  - REPORTED LEAK LOCATION
  - DEFICIENCY LOCATION / NO.
- NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

**rcs** ROOF CONSULTING SERVICES, INC  
 P.O. BOX 9747  
 RICHMOND, VIRGINIA 23226  
 \* SURVEYS \* SPECIFICATIONS \* INSPECTIONS \*  
 (804) 515-0885

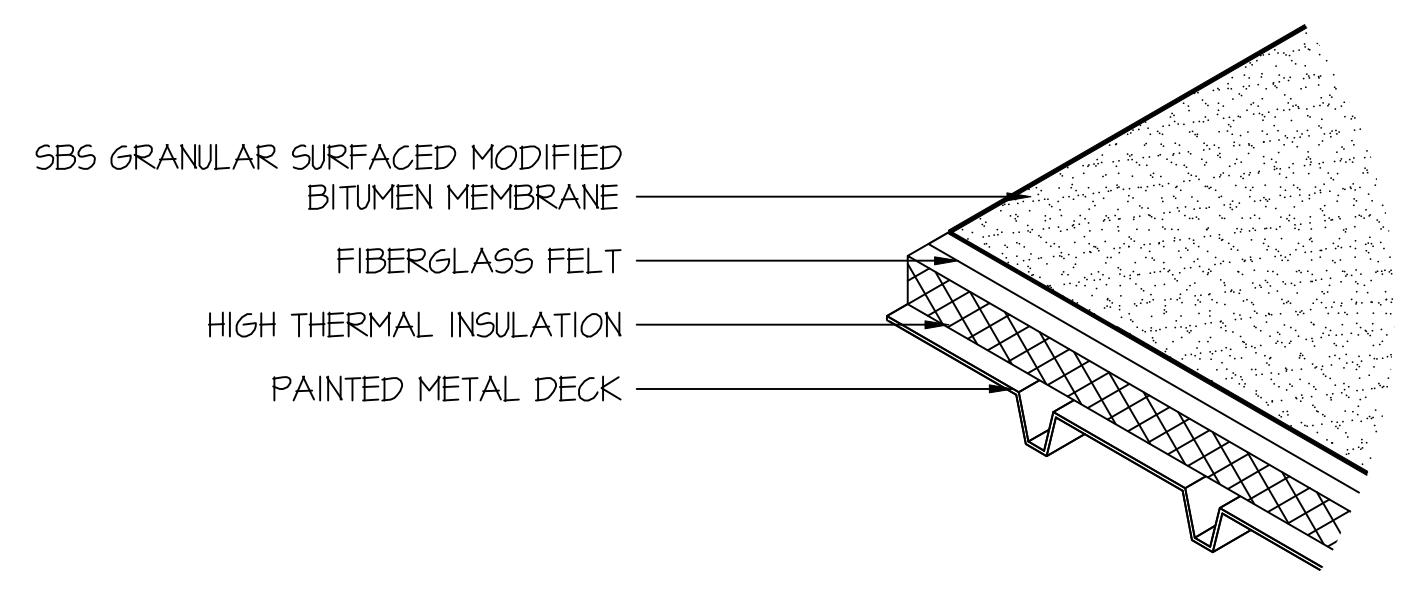
**Domino SUGAR**

DATE: 09/03/2022  
 DRAWN BY: C.W.T.  
 SCALE: 3/16"=1'-0"  
 CHECKED BY: W.D.S. JR.



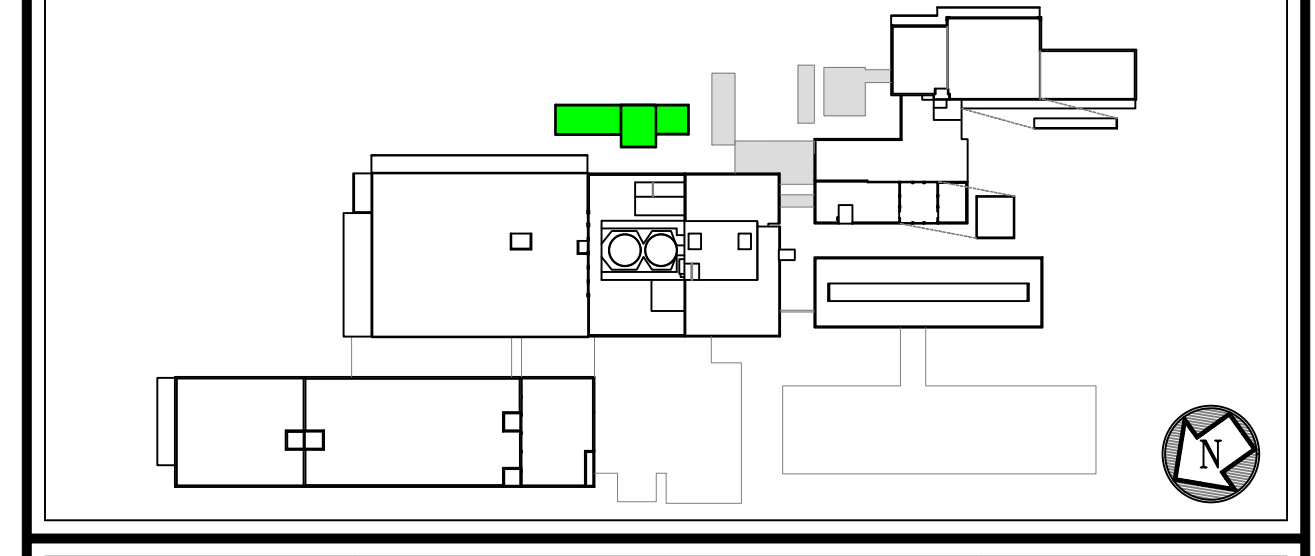
**INFRARED MOISTURE SURVEY**  
 CLIENT: DOMINO SUGAR REFINERY  
 PROJECT: DOMINO SUGAR FACILITY  
 ADDRESS: 7412 N. PETERS STREET  
 ARABI, LA  
 DRAWING: PARTIAL ROOF PLAN

**ROOF SYSTEM CROSS SECTION - NOT TO SCALE  
 TRUCK LOADING - AREAS A, B & C**



1 TOTAL PROJECT ROOF AREA - 38,168 SQ. FT. +/-  
 A3 SCALE: 3/16"=1'-0"

**KEY PLAN - NOT TO SCALE**



<b>FAILED</b>	<b>POOR</b>	<b>FAIR</b>	<b>GOOD</b>
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE

A3