



**Roof Consulting  
Services, Inc.**

Inspection \*\* Testing \*\* Design

November 23, 2022

Mr. Daniel Coates  
Acadia Realty  
411 Theodore Fremd Ave, Suite 300  
Rye, NY 10580

Re: Leak Investigation  
Chestnut Hill Shoppes  
8400 & 8625 Germantown Ave  
Philadelphia, Pennsylvania 19118

Mr. Coates,

As per our contract, Roof Consulting Services, Inc. (RCS) completed an isolated water test in reported leak areas at the above referenced facility to determine if repairs implemented by the installing contractor, Elite Roofing, were successful in causing roof related leak areas to subside. Mr. Paul George representing RCS performed the inspection on November 10, 2022. Mr. Paul Grasso was also in attendance of the inspection representing Elite Roofing.

The two reported leak locations were found at the Berkshire Hathaway Realtor Office and at the Iron Hill Restaurant; the locations of the reported leaks can be found on our corresponding roof plan.

Water testing was performed for a total of five hours at varying locations concentrating water application to areas of suspected potential infiltration. During the testing no interior leak could be produced. Previous repairs have been implemented to adjacent shingle roof systems identified as being in "Poor" – "Failed" condition. The adjacent shingle roof systems were not part of the new roof installation scope.

Three deficient conditions were observed during the investigation which include:

1. Insufficient filler material at pourable sealant pocket detail
2. Open condition at conduit
3. Insulated duct wrap not properly terminated / sealed at unit

The locations of these deficient conditions can be found on our corresponding roof plan. Conditions #1 & #2 are **not** believed to be related to the active leak activity. Condition #1, insufficient filler material at pourable sealant pocket detail, is considered a maintenance related condition; however, because the roof system is still under the 2-year installers guarantee, it is recommended that the installing contractor be required to address this condition prior to expiration of the 2-year period. Condition #2, Open condition at conduit, was repaired by the installing contractor while onsite.

Condition #3, insulated duct wrap not properly terminated / sealed at unit is a mechanical related

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condition and was not included in the new roof installation scope. It is recommended that the Owner contact a local qualified mechanical contractor to assess the mechanical unit, duct, and insulated duct wrap installation for open conditions and provide recommended corrective action and estimated repair budget.

We have provided photographic documentation with this report to substantiate our observations during this inspection. If you have any questions, please feel free to call our office or send an email. We want to thank you for the opportunity to work with you on this project.

Respectfully submitted  
**Roof Consulting Services, Inc.**

A handwritten signature in black ink, appearing to read 'W. Paul Sanders'.

Daniel Sanders, Jr  
Vice President

CC: P. George – RCS Inspector File

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# LEAK INVESTIGATION PHOTOGRAPHS

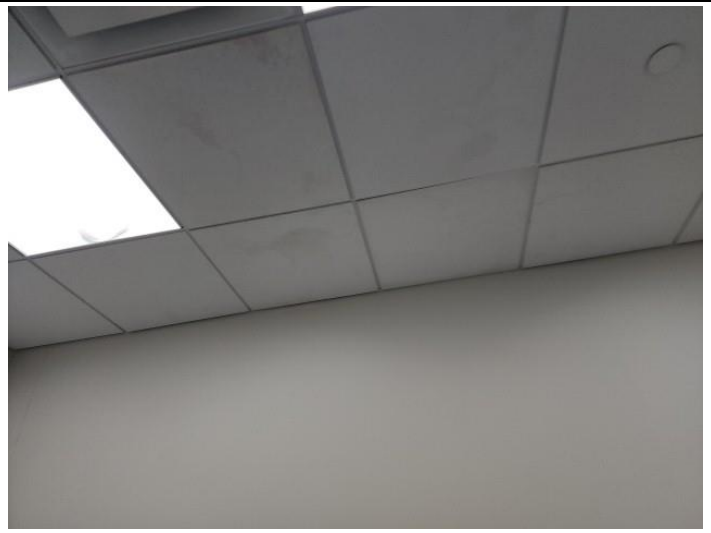
Facility Name: Chestnut Hill Shoppes

Project Title: Leak Investigation

Client: Acadia Realty

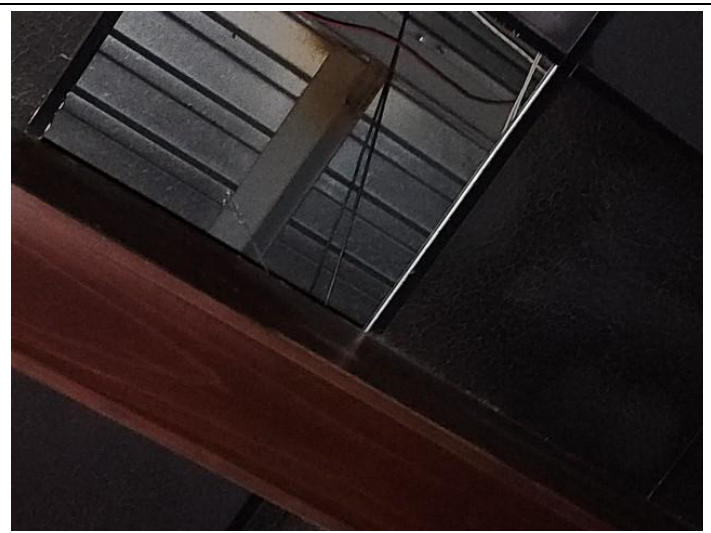
Inspection Date: 11/10/2022

Report Date: 11/22/2022



View of located interior leak at Realtor Office – Bldg 1

View of located interior leak at Realtor Office – Bldg 1



View of located interior leak at Restaurant – Bldg 1

View of located interior leak at Restaurant – Bldg 1

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Repaired Shingles on Bldg 1



Repaired Shingles on Bldg 1



Repaired Shingles on Bldg 1



Insufficient filler material at pourable sealant pocket detail

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Insufficient filler material at pourable sealant pocket detail



Insufficient filler material at pourable sealant pocket detail



Insufficient filler material at pourable sealant pocket detail



Insufficient filler material at pourable sealant pocket detail

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Open condition at conduit – Repair made with sealant

Open condition at conduit



Open condition at conduit

Open condition at conduit

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Insulated duct wrap not properly terminated / sealed at unit



Insulated duct wrap not properly terminated / sealed at unit

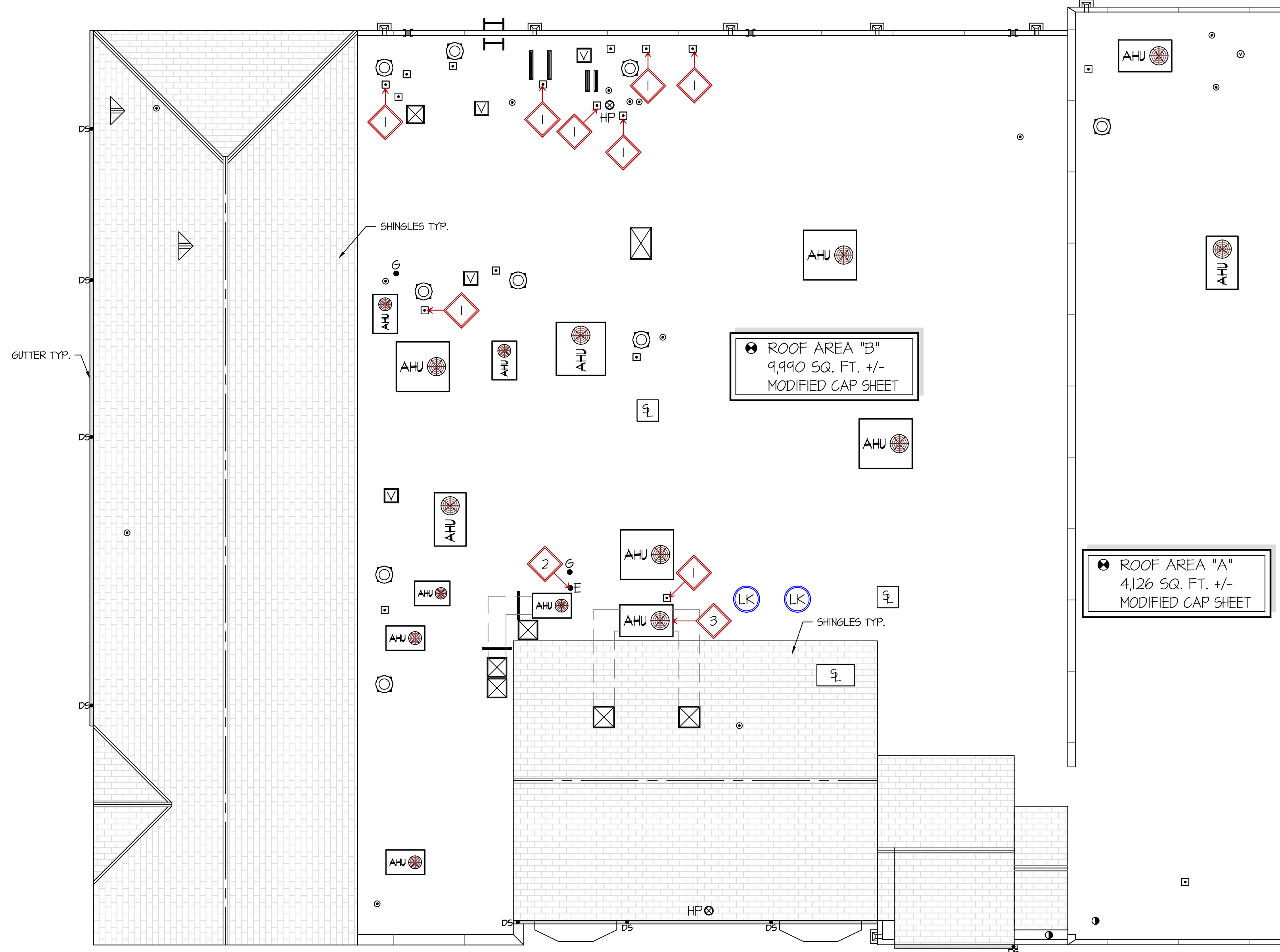


Insulated duct wrap not properly terminated / sealed at unit



Insulated duct wrap not properly terminated / sealed at unit

DEFICIENCY LIST	
1	INSUFFICIENT FILLER MATERIAL AT POURABLE SEALANT POCKET DETAIL
2	OPEN CONDITION AT CONDUIT
3	INSULATED DUCT WRAP NOT PROPERLY TERMINATED / SEALED AT UNIT



SYMBOL LEGEND	
	SKYLIGHT
	VENT
	HOT PIPE
	ROOF DRAIN
	ACCESS LADDER
	OVERFLOW SCUPPER
	SCUPPER W/ CONDUCTOR HEAD & DS
	SQUARE VENT
	BUILT-IN SLEEPER
	STANDARD CURB
	DOWNSPOUT
	EXHAUST UNIT
	PLUMBING VENT
	AHU ON CURB
	PITCH POCKET
	REPORTED LEAK LOCATION
	DEFICIENCY LOCATION / NO.

NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

1 TOTAL PROJECT ROOF AREA - 22,454 SQ. FT. +/-  
AI SCALE: 3/32"=1'-0"

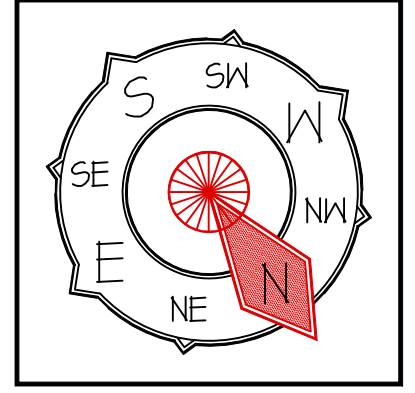
**KEY PLAN - NOT TO SCALE**

0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE
FAILED	POOR	FAIR	GOOD

**ros** ROOF CONSULTING SERVICES, INC  
P.O. BOX 9747  
RICHMOND, VIRGINIA 23226  
(804) 515-0885  
\* SURVEYS \* SPECIFICATIONS \* INSPECTIONS \*

**ACADIA**  
REALTY TRUST

DATE: 11/10/2022  
DRAWN BY: C.W.T.  
SCALE: 3/32"=1'-0"  
CHECKED BY: W.D.S. JR.



**LEAK INVESTIGATION**  
CLIENT: ACADIA REALTY  
PROJECT: CHESTNUT HILL SHOPPES  
ADDRESS: 8400 & 8625 GERMAN TOWN AVE  
PHILADELPHIA, PENNSYLVANIA  
DRAWING: ROOF PLAN

